



BOARD OF ALDERMEN
Regular Meeting Agenda
CITY OF PARKVILLE, MISSOURI
Tuesday, July 19, 2016 7:00 pm
City Hall Boardroom

Next numbers: Bill No. 2881 / Ord. No. 2851

1. CALL TO ORDER

- A. Roll Call
- B. Pledge of Allegiance

2. CITIZEN INPUT

3. MAYOR'S REPORT

4. CONSENT AGENDA

- A. Approve the minutes for the July 5, 2016, regular meeting
- B. Receive and file the June Municipal Court Report
- C. Receive and file the financial report for the month ending June 30, 2016
- D. Receive and file crime statistics from January through May 2016
- E. Maintenance agreement with Arbor Masters for tree trimming on-call services
- F. Adopt an ordinance approving the final plat of Lots 4-1 Through 4-3, Townhomes at the National – 2nd Plat – Case No. PZ16-11; applicant, Double Eagle Builders, LLC, owner
- G. Approve accounts payable from July 1 through July 15, 2016

Please Note: All matters listed under "Consent Agenda" are considered to be routine by the Board of Aldermen and will be enacted upon under one motion without discussion. Any member of the Board of Aldermen may be allowed to request an item be pulled from the Consent Agenda for consideration under the regular agenda if debate and a separate motion are desired. Any member of the Board of Aldermen may be allowed to question or comment on an item on the Consent Agenda without a separate motion under the regular agenda. Items not removed from the Consent Agenda will stand approved upon motion made by any alderman, followed by a second and a roll call vote to "Approve the consent agenda and recommended motions for each item as presented."

5. NON-ACTION AGENDA

- A. Parkville Economic Development Council Update
- B. Platte County Economic Development Council Update

6. ACTION AGENDA

- A. Receive and file the Parkville Mine Inspection Report from Kansas City Testing & Engineering, LLC (Administration)
- B. Consider a request from First Student, Inc. for parking and shuttle service (Administration)
- C. Adopt the Highway 45 Corridor Plan (Community Development)
- D. Adopt an ordinance to amend Parkville Municipal Code Chapter 365 to add Section 365.105 regarding driving a motor vehicle with a suspended or revoked driver's license (Administration)

7. STAFF UPDATES ON ACTIVITIES

A. Administration

1. Parks Master Plan Update

B. Community Development

1. Friends of Parkville Animal Shelter

C. Public Works

1. Street Maintenance

8. COMMITTEE REPORTS & MISCELLANEOUS ITEMS FROM THE BOARD

9. ADJOURN

General Agenda Notes:

The agenda closed at noon on July 14, 2016. With the exception of emergencies or other urgent matters, any item requested after the agenda was closed will be placed on the next Board meeting agenda. Emergencies and urgent matters may be placed on an amended agenda only upon vote of the Board of Aldermen. The deadline to submit your name for Citizen Input is noon on July 19, 2016.

1. CALL TO ORDER

A regular meeting of the Board of Aldermen was convened at 7:00 p.m. on Tuesday, July 5, 2016, at City Hall located at 8880 Clark Avenue, Parkville, and was called to order by Mayor Nanette K. Johnston. City Clerk Melissa McChesney called the roll as follows:

Ward 1 Alderman Diane Driver	- present
Ward 1 Alderman Tina Welch	- absent
Ward 2 Alderman Jim Werner	- present
Ward 2 Alderman Dave Rittman	- present
Ward 3 Alderman Robert Lock	- present
Ward 3 Alderman Douglas Wylie	- present
Ward 4 Alderman Marc Sportsman	- present
Ward 4 Alderman Greg Plumb	- present

A quorum of the Board of Aldermen was present.

The following staff was also present:

- Lauren Palmer, City Administrator
- Kevin Chrisman, Police Chief
- Alysen Abel, Public Works Director
- Stephen Lachky, Community Development Director
- Tim Blakeslee, Assistant to the City Administrator
- Steve Berg, City Treasurer
- Steve Chinn, City Attorney

Mayor Johnston led the Board in the Pledge of Allegiance to the Flag of the United States of America.

2. CITIZEN INPUT

3. MAYOR'S REPORT

Mayor Johnston noted that City Hall would be closed on July 6 due to an air conditioner malfunction.

A. Recognition for City Clerk Melissa McChesney for certification as a Missouri Registered City Clerk by the Missouri City Clerks and Finance Officers Association

Mayor Johnston and City Administrator Lauren Palmer recognized the City Clerk Melissa McChesney for receiving the Missouri Registered City Clerk certification.

B. Recognition for the Government Finance Officers Association Distinguished Budget Award for the 2016 Annual Budget

Mayor Johnston presented the Distinguished Budget Award to City Administrator Lauren Palmer, City Treasurer Steve Berg and Assistant to the City Administrator Tim Blakeslee. Palmer also recognized Finance/Human Resources Director Matthew Chapman who was unable to attend.

4. CONSENT AGENDA

- A. Approve the minutes for the June 21, 2016, regular meeting
- B. Receive and file the May sewer report
- C. Approve the second reading of an ordinance to amend Ordinance No. 2829 amending the 2016 Operating Budget and 2016 – 2021 Capital Improvement Program for the Sewer Fund and Economic Development Fund
- D. Approve the revised agreement with Kansas City Power and Light for the Demand Response Incentive Program (formerly M-Power) for a one-year term
- E. Approve accounts payable from June 16-30, 2016

IT WAS MOVED BY ALDERMAN SPORTSMAN AND SECONDED BY ALDERMAN DRIVER TO **APPROVE THE CONSENT AGENDA AND RECOMMENDED MOTION FOR EACH ITEM, AS PRESENTED.** ALL AYES BY ROLL CALL VOTE: PLUMB, WYLIE, WERNER, DRIVER, RITTMAN, LOCK AND SPORTSMAN. MOTION PASSED 7-0.

5. ACTION AGENDA

A. Approve the financial statements for the City of Parkville for the fiscal year ended December 31, 2015, as audited by Cochran Head Vick & Co., P.C.

City Administrator Lauren Palmer introduced David Cochran and Michael Keenan, Cochran Head Vick & Co., P.C., who completed the 2015 audit. She noted that staff hoped to complete the audit in June but it was delayed due to last minute issues that needed to be resolved. She added that it was the first year working with the audit firm and they helped to identify issues that staff was able to work through.

David Cochran thanked Palmer and the staff for their assistance with the audit and said he was proud that both parties learned something and it was a worthwhile endeavor. Michael Keenan presented an overview of the audit and said it was a positive experience. He also thanked staff for their assistance with the audit.

IT WAS MOVED BY ALDERMAN SPORTSMAN AND SECONDED BY ALDERMAN DRIVER TO **APPROVE THE AUDITED FINANCIAL STATEMENTS FOR THE FISCAL YEAR ENDED DECEMBER 31, 2015.** ALL AYES; MOTION PASSED 7-0.

B. Approve Resolution No. 16-011 supporting an application for the Missouri Moves Cost Share Program for state fiscal year 2017 transportation funding

Community Development Director Stephen Lachky stated that the Missouri Department of Transportation (MoDOT) announced it was seeking transportation projects and a total of \$20 million was available in 2017. The application was due on July 29. Lachky added that MoDOT participated up to 50 percent of the total project for costs in addition to construction. In January 2016, the Board adopted the Route 9 Corridor Study and in March approved Resolution No. 16-004 supporting an application for a Mid-America Regional Council (MARC) Call for Projects for FFY 2020 funding for Highway 9 from Highway 45 to Clark Avenue for a total cost of \$1.2 million. Lachky noted that staff would receive the results of the grant award in September. Staff was encouraged by MoDOT to apply for the Missouri Moves Cost Share Program even though the City had applied for the MARC grant funding.

Lachky provided an overview of the budget and noted that the proposed 9 Highway Corridor Community Improvement District would bring in estimated revenue of \$73,500 annually. He added that the 50 percent local match provided by the Missouri Moves Cost Share Program funding was previously committed by Parkville through the MARC application and if the City did not receive the grant it could withdraw the application.

The Board discussed the City's portion of the costs through the various grant applications for the Highway 9 improvements and the costs related to the alternatives listed in the policy report. City Administrator Lauren Palmer provided an overview of the timing of when subsequent decisions could be made if the MoDOT grant was awarded.

IT WAS MOVED BY ALDERMAN SPORTSMAN AND SECONDED BY ALDERMAN DRIVER TO **APPROVE RESOLUTION NO. 16-011 SUPPORTING AN APPLICATION IN THE AMOUNT OF \$3,484,000 FOR THE MISSOURI MOVES COST SHARE PROGRAM FOR FISCAL YEAR 2017 TRANSPORTATION FUNDING TO HELP FUND TRANSPORTATION IMPROVEMENTS ALONG THE ROUTE 9 CORRIDOR.** MOTION PASSED 6-1 (SPORTSMAN OPPOSED).

6. STAFF UPDATES ON ACTIVITIES

A. Police Department

Police Chief Kevin Chrisman provided a recap of the July 4th Celebration, noting that it was one of the largest crowds from 63rd Street to Main Street. He added there were a couple of ambulance calls and one minor verbal disturbance. Staff would review traffic options to improve traffic flow. Mayor Johnston thanked the police officers for their hard work at the event.

B. Community Development

Community Development Director Stephen Lachky stated that a Planning and Zoning Commission work session would be held on July 12 to discuss the Friends of Parkville Animal Shelter (FOPAS). The animal shelter had operated out of a residence since 2006 through a conditional use permit that they feel they have overgrown. Lachky noted that the zoning code did not have a mechanism to build a new structure. The work session would be held to discuss what was allowed under the City's zoning code and what FOPAS would need to do for a new site plan or permanent structure at the same location, which would require a zoning code amendment.

Lachky also provided an update on the Missouri American Water (MAW) treatment plant relocation, noting that staff contacted MAW who had decided to pursue the acquisition of adjacent property in unincorporated Platte County. MAW would need to annex the adjacent property into the city, which would require a public hearing. Lachky was waiting to hear from them about the timeline.

7. COMMITTEE REPORTS AND MISCELLANEOUS ITEMS FROM THE BOARD

Alderman Sportsman requested clarification on the location of the grain storage bins on property owned by Jenkins Family Farm LLC from an e-mail previously distributed to the Board of Aldermen by Community Development Director Stephen Lachky. Lachky responded that the location was a small portion of the property located on the north side of River Road.

Sportsman also noted that Assistant to the City Administrator Tim Blakeslee manned the booth at Pocket Park on July 4 for the public to view the Parks Master Plan Update riverfront concepts. Blakeslee added that the online survey was open until July 31.

8. ADJOURN

Mayor Johnston declared the meeting adjourned at 8:20 p.m.

The minutes for Tuesday, July 5, 2016, having been read and considered by the Board of Aldermen, and having been found to be correct as written, were approved on this the nineteenth day of July 2016.

Submitted by:

City Clerk Melissa McChesney

ITEM 4B
For 07-19-16
Board of Aldermen Meeting

June 30, 2016

I, Toni Rizzuti, hereby swear and confirm that all cases heard, tried and disposed of in the Parkville Municipal Court for the month of June 2016, are accurate and true to the best of my knowledge and beliefs.

A handwritten signature in black ink, appearing to read "Toni Rizzuti", is written over a horizontal line.

Toni Rizzuti
Court Clerk

From 6/01/2016 to 6/30/2016

Post Date Citation No. Docket No.

***** TOTAL FOR REPORT *****

Code	--- Payments ---	--- Refunds ---	--- Net ---	G/L Acct No.
CC	137 1,644.00	0	1,644.00	83 41606-00
SF	136 408.00	0	408.00	83 20506
SH	137 518.00	0	518.00	83 20503
CVC	137 976.81	0	976.81	83 20500
LET	137 274.00	0	274.00	83 41610-00
CVC2	137 50.69	0	50.69	83 41608-00
FINE	126 17,779.50	0	17,779.50	83 41601-00
POST	137 137.00	0	137.00	83 20501
RECOUP	6 550.50	0	550.50	83 41613-00
FORF	1 500.00	0	500.00	83 41605-00
JAIL	2 70.00	0	70.00	83 41609-00
TORNEY	1 125.00	0	125.00	83 41604-00
Total:	1094 23,033.50	0	23,033.50	

Cash Payments....+ \$16,831.50
 Bond Forfeited...+ \$500.00
 Bond Applied.....+ \$5,702.00
 Payment Refunded.- \$0.00
 Fees/Fines Paid..= \$23,033.50

Cash (Payments)...+ \$16,831.50
 Cash (Bonds).....+ \$7,750.00
 Total Cash Trans.= \$24,581.50

Cash Refunds.....- \$0.00
 Net Cash Trans...= \$24,581.50

Cash Refund/Cash : \$0.00
 Cash Refund/Check: \$0.00
 Cash Refund/X-AP : \$0.00
 Tl. Cash Refunds.: \$0.00

Cash Bond Posted.+ \$7,750.00
 Bond Forfeited...- \$500.00
 Bond Applied.....- \$5,702.00
 Bond Refunded.....- \$3,798.00
 Net Change/Bond..= \$2,250.00-

Bond Refund/Cash : \$0.00
 Bond Refund/Check: \$3,798.00
 Bond Refund/X-AP : \$0.00
 Tl. Bond Refunds.: \$3,798.00

***** TOTAL FOR G/L *****

Total Revenue	\$23,033.50	* see above *
Cash Account	\$16,831.50	83 12100
Bond Cash Account	\$7,750.00	83 12101



FINANCIAL REPORT

For the Month Ended June 30, 2016

Unaudited Financial Reports

To Be Used for

Budgetary Management Purposes

REVENUE AND EXPENDITURES BUDGETARY COMPARISON REPORT

AS OF: June 30, 2016

10 -General Fund

FINANCIAL SUMMARY

50.0% OF FISCAL YEAR COMPLETED

	2016 ANNUAL BUDGET	PERIOD TO DATE ACTUAL	YEAR TO DATE ACTUAL	% USED	BUDGET BALANCE	PRIOR FY YEAR TO DATE
BEGINNING FUND BALANCE	1,347,819		1,347,819			
REVENUE SUMMARY						
TAXES	1,119,687	2,230.50	1,135,364.44	101.4%	-15,677.44	1,090,592.08
LICENSES	56,160	13,435.00	48,574.50	86.5%	7,585.50	46,395.50
PERMITS	263,415	33,220.81	107,454.63	40.8%	155,960.37	132,016.08
FRANCHISE FEES	874,000	149,606.10	364,280.61	41.7%	509,719.39	239,643.61
SALES TAXES	1,039,500	107,181.31	541,634.83	52.1%	497,865.17	506,742.60
OTHER REVENUE	35,261	1,413.00	23,048.90	65.4%	12,212.10	19,126.00
COURT REVENUE	250,000	20,363.19	106,073.16	42.4%	143,926.84	116,350.74
INTEREST INCOME	8,000	646.82	4,380.06	54.8%	3,619.94	4,160.65
MISCELLANEOUS REVENUE	25,183	572.11	11,688.50	46.4%	13,494.50	13,652.47
GRANT REVENUE	1,500	8,463.97	17,101.19	1140.1%	-15,601.19	16,147.89
TRANSFERS IN	343,530	28,627.50	171,765.00	50.0%	171,765.00	173,250.00
TOTAL REVENUES	4,016,236	365,760.31	2,531,365.82	63.0%	1,484,870.18	2,358,077.62
EXPENDITURE SUMMARY						
ADMINISTRATION	1,011,983	95,869.80	501,648.26	49.6%	510,334.74	422,108.54
POLICE	1,223,870	96,571.68	517,871.55	42.3%	705,998.45	515,033.77
MUNICIPAL COURT	153,471	13,763.91	69,911.89	45.6%	83,559.11	71,714.19
PUBLIC WORKS	215,687	16,952.45	82,623.74	38.3%	133,063.26	83,680.73
COMMUNITY DEVELOPMENT	316,393	20,609.27	119,794.66	37.9%	196,598.34	122,338.47
STREET DEPARTMENT	399,656	38,764.72	191,527.14	47.9%	208,128.86	190,719.95
PARKS DEPARTMENT	356,007	34,485.28	152,255.40	42.8%	203,751.60	149,620.57
NATURE SANCTUARY	39,681	3,798.78	9,800.70	24.7%	29,880.30	11,033.58
PUBLIC INFORMATION	13,810	0.00	2,950.00	21.4%	10,860.00	7,607.93
INFORMATION TECHNOLOGY	43,974	0.00	27,687.76	63.0%	16,286.24	17,082.27
GENERAL FUND CAPITAL OUTLAY	351,035	10,765.08	96,441.26	27.5%	254,593.74	46,682.42
TRANSFERS OUT TO OTHER FUNDS	317,500	26,458.35	158,750.00	50.0%	158,750.00	138,750.00
TOTAL EXPENDITURES	4,443,067	358,039.32	1,931,262.36	43.5%	2,511,804.64	1,776,372.42
EXCESS REV OVER / (UNDER) EXPENDITURES	-426,831	7,720.99	600,103.46			581,705.20
PRIOR YEAR FUND BALANCES ALLOCATED FOR 2015 GENERAL FUND USE	426,914		0.00			
ESTIMATED ENDING BALANCE	920,988		1,947,922.46			

General Fund (10)

Last Updated 06/16/2016

	2012	2013	2014	2015	2015	2016	2016	2016	2017	2018	2019	2020	2021
	Actual	Actual	Actual	Budget	Actual	Budget	YTD	Projected	Projected	Projected	Projected	Projected	Projected
<i>Beginning Fund Balance</i>	\$ 320,089	\$ 374,112	\$ 738,327	\$ 1,006,217	\$ 1,137,653	\$ 1,347,819	\$ 1,514,022	\$ 1,514,022	\$ 1,009,174	\$ 517,275	\$ 224,558	\$ (81,232)	\$ (400,755)
Revenues													
Taxes	1,913,138	1,966,167	2,066,998	2,076,100	2,132,142	2,159,187	1,676,999	2,175,701	2,202,371	2,246,418	2,291,347	2,337,173	2,383,917
Licenses	44,846	39,907	47,824	57,461	59,563	56,160	48,775	52,325	56,723	57,291	57,865	58,445	59,031
Permits	171,051	210,575	331,390	264,000	256,201	263,415	107,455	195,015	206,531	209,908	213,352	216,863	220,761
Franchise Fees	832,470	865,901	901,327	851,000	828,215	874,000	364,281	874,000	891,330	909,005	927,032	945,418	964,171
Other Revenue	20,411	28,280	32,657	31,200	35,096	35,261	22,849	35,901	35,833	36,416	37,012	37,620	38,240
Court Revenue	325,275	257,910	269,935	261,000	225,128	250,000	106,073	225,000	253,750	257,556	261,420	265,341	269,321
Interest Income	26,155	18,153	6,626	7,000	7,623	8,000	4,380	8,000	8,160	8,160	8,160	8,160	8,323
Miscellaneous Revenue	123,562	32,350	39,848	29,880	60,460	25,183	28,034	56,625	37,383	37,587	38,839	40,148	41,515
Grant Revenue	225,511	4,594	3,837	-	8,827	1,500	756	1,500	-	-	-	-	-
Transfers	651,000	1,027,876	582,680	346,500	348,251	343,530	171,765	293,530	340,601	337,713	334,867	332,064	329,305
Total - General Fund Revenues:	4,333,419	4,451,713	4,283,121	3,924,141	3,961,506	4,016,236	2,531,366	3,917,597	4,032,681	4,100,055	4,169,893	4,241,232	4,314,585
Total Sources	4,653,509	4,825,825	5,021,449	4,930,358	5,099,160	5,364,055	4,045,387	5,431,619	5,041,855	4,617,330	4,394,451	4,160,000	3,913,829
Expenditures													
Administration	1,275,198	766,897	896,855	995,582	789,401	1,011,983	502,146	1,013,983	1,031,995	1,052,585	1,073,775	1,095,584	1,118,034
Police	1,036,993	1,096,361	1,096,979	1,246,588	1,036,581	1,223,870	517,872	1,203,870	1,250,968	1,278,814	1,307,432	1,336,849	1,367,089
Municipal Court	138,839	135,531	138,999	156,709	132,439	153,471	69,414	153,471	156,366	159,332	162,372	165,486	168,678
Public Works	99,926	102,708	145,444	185,922	172,372	215,770	82,624	213,403	219,832	223,989	228,242	232,595	237,051
Community Development	262,111	258,083	249,809	289,400	267,231	316,393	119,795	293,562	323,098	329,967	337,005	344,215	351,605
Streets	600,367	674,175	340,633	382,729	356,757	399,656	191,527	399,656	409,318	419,263	429,499	440,036	450,885
Parks	250,508	251,594	281,741	352,079	319,765	356,007	152,255	353,281	362,732	369,635	376,721	383,995	391,465
Nature Sanctuary	17,258	19,352	27,156	31,077	29,834	39,681	9,801	35,856	40,033	40,389	40,749	41,113	41,481
Information Technology	-	45,884	34,167	40,324	34,185	43,974	27,688	43,974	44,194	44,415	44,637	44,860	45,084
Public Information	30,638	16,915	15,450	17,750	15,357	13,810	2,950	13,810	13,879	13,948	14,018	14,088	14,159
Capital Outlay (CIP)	-	-	118,562	356,175	149,139	351,035	96,441	377,654	354,664	142,934	143,734	144,434	44,800
Transfers	567,558	720,000	538,000	277,500	282,077	317,500	158,750	319,925	317,500	317,500	317,500	317,500	317,500
Total - General Fund Expenditures:	\$ 4,279,396	\$ 4,087,498	\$ 3,883,795	\$ 4,331,835	\$ 3,585,138	\$ 4,443,150	\$ 1,931,262	\$ 4,422,445	\$ 4,524,580	\$ 4,392,771	\$ 4,475,683	\$ 4,560,756	\$ 4,547,830
Estimated Ending Balance (deficit):	\$ 374,112	\$ 738,327	\$ 1,137,653	\$ 598,523	\$ 1,514,022	\$ 920,905	\$ 2,114,125	\$ 1,009,174	\$ 517,275	\$ 224,558	\$ (81,232)	\$ (400,755)	\$ (634,001)

Emergency Reserve (50)

Last Updated 07/14/2016

	2012 Actual	2013 Actual	2014 Actual	2015 Budget	2015 Actual	2016 Budget	2016 YTD	2016 Projected	2017 Projected	2018 Projected	2019 Projected	2020 Projected	2021 Projected
<i>Beginning Fund Balance</i>	\$ 618,931	\$ 724,989	\$ 1,070,966	\$ 1,387,966	\$ 1,387,966	\$ 1,269,842	\$ 1,269,842	\$ 1,269,842	\$ 1,455,948	\$ 1,285,541	\$ 1,108,404	\$ 926,094	\$ 745,801
Revenues													
Temporary Operating Levy	-	-	-	-	-	15,364	15,364	15,364	-	-	-	-	-
Transfer from Transportation Fund	-	-	-	-	-	-	-	-	-	-	-	-	-
Transfer from Sewer Fund	-	-	-	-	-	-	-	-	-	-	-	-	-
Transfer from General Fund	106,058	450,000	317,000	60,000	60,000	317,500	158,750	317,500	274,818	267,438	261,315	267,007	253,610
Emergency Reserve Revenues:	106,058	450,000	317,000	60,000	60,000	332,864	174,114	332,864	274,818	267,438	261,315	267,007	253,610
Total Sources:	724,989	1,174,989	1,387,966	1,447,966	1,447,966	1,602,706	1,443,956	1,602,706	1,730,766	1,552,979	1,369,719	1,193,101	999,411
Expenditures													
Brush Creek Sewer NID	-	104,023	-	-	-	-	-	-	142,665	144,310	141,165	143,253	140,513
Brink Meyer Road NID	-	-	-	-	178,124	146,758	73,994	146,758	302,560	300,265	302,460	304,048	305,088
Miscellaneous	-	-	-	-	-	-	-	-	-	-	-	-	-
Emergency Reserve Expenditures:	-	104,023	-	-	178,124	146,758	73,994	146,758	445,225	444,575	443,625	447,300	445,600
Estimated Ending Balance (deficit) :	724,989	1,070,966	1,387,966	1,447,966	1,269,842	1,455,948	1,369,962	1,455,948	1,285,541	1,108,404	926,094	745,801	553,811
TARGET (per reserve policy):	1,069,849	1,021,875	988,197	1,082,959	896,284	1,110,788		1,105,611	1,131,145	1,098,193	1,091,328	1,140,189	1,136,958

CITY OF PARKVILLE
REVENUE AND EXPENSE REPORT
AS OF: JUNE 30TH, 2016

10 -General Fund
FINANCIAL SUMMARY

50.00% OF FISCAL YEAR COMPLETED

	ANNUAL BUDGET	PERIOD TO DATE ACTUAL	YEAR TO DATE ACTUAL	% USED	BUDGET BALANCE	PRIOR FY YEAR TO DATE
<u>REVENUE SUMMARY</u>						
TAXES	1,119,687	2,230.50	1,135,364.44	101.40 (	15,677.44)	1,090,592.08
LICENSES	56,160	13,635.00	48,774.50	86.85	7,385.50	46,395.50
PERMITS	263,415	33,220.81	107,454.63	40.79	155,960.37	132,016.08
FRANCHISE FEES	874,000	149,606.10	364,280.61	41.68	509,719.39	239,643.61
SALES TAXES	1,039,500	107,181.31	541,634.83	52.11	497,865.17	506,742.60
OTHER REVENUE	35,261	1,213.00	22,848.90	64.80	12,412.10	19,126.00
COURT REVENUE	250,000	20,363.19	106,073.16	42.43	143,926.84	116,350.74
INTEREST INCOME	8,000	646.82	4,380.06	54.75	3,619.94	4,160.65
MISCELLANEOUS REVENUE	26,683	9,036.08	28,789.69	107.90 (	2,106.69)	29,800.36
TRANSFERS IN	343,530	28,627.50	171,765.00	50.00	171,765.00	173,250.00
TOTAL REVENUES	4,016,236	365,760.31	2,531,365.82	63.03	1,484,870.18	2,358,077.62
<u>EXPENDITURE SUMMARY</u>						
ADMINISTRATION	1,329,483	95,869.80	502,145.71	37.77	827,337.29	422,108.54
POLICE	1,223,870	96,571.68	517,871.55	42.31	705,998.45	515,033.77
MUNICIPAL COURT	153,471	13,763.91	69,414.44	45.23	84,056.56	71,714.19
PUBLIC WORKS	215,687	16,952.45	82,623.74	38.31	133,063.26	83,680.73
COMMUNITY DEVELOPMENT	316,393	20,609.27	119,794.66	37.86	196,598.34	122,338.47
STREET DEPARTMENT	399,656	38,764.72	191,527.14	47.92	208,128.86	190,719.95
PARKS DEPARTMENT	356,007	34,485.28	152,255.40	42.77	203,751.60	149,620.57
NATURE SANCTUARY	39,681	3,798.78	9,800.70	24.70	29,880.30	11,033.58
CHANNEL 2 & WEBSITE	13,810	0.00	2,950.00	21.36	10,860.00	7,607.93
TRANSFERS OUT	0	26,458.35	158,750.00	0.00 (	158,750.00)	138,750.00
IT	43,974	0.00	27,687.76	62.96	16,286.24	17,082.27
CAPITAL OUTLAY	351,035	10,765.08	96,441.26	27.47	254,593.74	46,682.42
TOTAL EXPENDITURES	4,443,067	358,039.32	1,931,262.36	43.47	2,511,804.64	1,776,372.42
EXCESS REVENUES OVER/(UNDER) EXPENDITURE(	426,831)	7,720.99	600,103.46	(	1,026,934.46)	581,705.20

CITY OF PARKVILLE
REVENUE AND EXPENSE REPORT
AS OF: JUNE 30TH, 2016

10 -General Fund
FINANCIAL SUMMARY
REVENUES

50.00% OF FISCAL YEAR COMPLETED

	ANNUAL BUDGET	PERIOD TO DATE ACTUAL	YEAR TO DATE ACTUAL	% USED	BUDGET BALANCE	PRIOR FY YEAR TO DATE
TAXES						
10-41001-00 Real & Personal Property Tax	941,387	1,531.66	956,819.39	101.64 (	15,432.39)	916,659.83
10-41002-00 Penalties	4,500	258.30	2,274.22	50.54	2,225.78	1,834.62
10-41003-00 Corp Merchants & Manufacturi	147,000	0.00	148,946.45	101.32 (	1,946.45)	146,270.33
10-41004-00 Financial Institution Tax	2,000	0.00	2,954.78	147.74 (	954.78)	2,065.32
10-41005-00 Vehicle Tax	24,800	440.54	24,369.60	98.26	430.40	23,761.98
TOTAL TAXES	1,119,687	2,230.50	1,135,364.44	101.40 (	15,677.44)	1,090,592.08
LICENSES						
10-41101-00 Dog License (Tags)	1,950	300.00	1,505.00	77.18	445.00	1,690.00
10-41102-00 Occupational License	33,835	6,630.00	30,722.00	90.80	3,113.00	27,308.00
10-41102-02 Late Fees on Bus Licenses	0	0.00	12.50	0.00 (	12.50)	300.00
10-41103-00 Peddler's Licenses	650	50.00	700.00	107.69 (	50.00)	300.00
10-41104-00 Liquor Licenses	18,225	6,367.50	14,737.50	80.86	3,487.50	16,145.00
10-41111-00 Convenience Fees Under \$200	1,500	287.50	942.50	62.83	557.50	585.00
10-41112-00 Convenience Fees Over \$200	0	0.00	155.00	0.00 (	155.00)	67.50
TOTAL LICENSES	56,160	13,635.00	48,774.50	86.85	7,385.50	46,395.50
PERMITS						
10-41201-00 Building Permits	220,000	27,806.85	89,519.00	40.69	130,481.00	110,847.55
10-41201-01 Occupancy Permit	1,500	0.00	300.00	20.00	1,200.00	350.00
10-41202-00 Sign Permits	0	130.00	650.00	0.00 (	650.00)	330.00
10-41205-00 Development Permits	1,515	0.00	900.00	59.41	615.00	1,275.00
10-41205-01 Public Improvement Fees	30,300	2,823.96	9,225.92	30.45	21,074.08	16,388.53
10-41206-00 Rezoning Permits	0	0.00	0.00	0.00	0.00	900.00
10-41207-00 Subdivision Permit Fees	0	0.00	3,309.71	0.00 (	3,309.71)	975.00
10-41208-00 BZA-Variance, Exceptio, Appe	0	0.00	0.00	0.00	0.00	300.00
10-41209-00 Conditional Use Permits	0	0.00	300.00	0.00 (	300.00)	600.00
10-41209-01 Special Event Permit	0	2,435.00	3,145.00	0.00 (	3,145.00)	50.00
10-41210-00 Grading/PW Use Permits	0	25.00	105.00	0.00 (	105.00)	0.00
10-41211-00 Engineering Reviews	10,100	0.00	0.00	0.00	10,100.00	0.00
TOTAL PERMITS	263,415	33,220.81	107,454.63	40.79	155,960.37	132,016.08
FRANCHISE FEES						
10-41301-00 Telecom Franchise	210,000	12,797.90	101,508.28	48.34	108,491.72	102,128.80
10-41302-00 Missouri Gas Energy	128,000	0.00	35,387.33	27.65	92,612.67	50,864.18
10-41303-00 Missouri American Water	125,000	0.00	53,292.29	42.63	71,707.71	48,125.13
10-41304-00 KC Power & Light	330,000	135,991.35	135,991.35	41.21	194,008.65	0.00
10-41305-00 Martin Marietta Stone Royalt	15,000	816.85	4,118.05	27.45	10,881.95	5,512.82
10-41306-00 Cable/Video Service Franchis	66,000	0.00	33,983.31	51.49	32,016.69	33,012.68
TOTAL FRANCHISE FEES	874,000	149,606.10	364,280.61	41.68	509,719.39	239,643.61
SALES TAXES						
10-41401-00 Sales Tax-General Revenue	970,000	100,461.71	505,267.28	52.09	464,732.72	471,920.67
10-41402-00 Motor Vehicle Sales Tax	46,000	4,218.50	23,366.70	50.80	22,633.30	22,158.92
10-41403-00 Motor Vehicle Fee	23,500	2,501.10	13,000.85	55.32	10,499.15	12,663.01
TOTAL SALES TAXES	1,039,500	107,181.31	541,634.83	52.11	497,865.17	506,742.60

CITY OF PARKVILLE
REVENUE AND EXPENSE REPORT
AS OF: JUNE 30TH, 2016

10 -General Fund
FINANCIAL SUMMARY
REVENUES

50.00% OF FISCAL YEAR COMPLETED

	ANNUAL BUDGET	PERIOD TO DATE ACTUAL	YEAR TO DATE ACTUAL	% USED	BUDGET BALANCE	PRIOR FY YEAR TO DATE
<u>OTHER REVENUE</u>						
10-41501-00 Farmers Market	1,061	(150.00)	1,060.90	99.99	0.10	515.00
10-41504-00 Park Shelter Reservations	12,000	1,490.00	8,125.00	67.71	3,875.00	7,465.00
10-41504-01 Sports Fields Reservations	4,500	285.00	8,565.00	190.33	(4,065.00)	3,710.00
10-41504-02 Park Events Reservations	15,000	(302.00)	5,208.00	34.72	9,792.00	7,436.00
10-41505 Reservation Refunds - Floodi	0	(110.00)	(110.00)	0.00	110.00	0.00
10-41505-01 Nature Sanctuary Programs	2,700	0.00	0.00	0.00	2,700.00	0.00
TOTAL OTHER REVENUE	35,261	1,213.00	22,848.90	64.80	12,412.10	19,126.00
<u>COURT REVENUE</u>						
10-41601-00 Fines	250,000	19,923.50	101,499.94	40.60	148,500.06	112,450.50
10-41602-00 CVC Reports	0	99.69	310.22	0.00	(310.22)	278.24
10-41602-01 Appointed Attorney Reimburse	0	125.00	1,682.50	0.00	(1,682.50)	1,569.00
10-41602-02 Boarding of Prisoners Reimbu	0	70.00	879.50	0.00	(879.50)	480.00
10-41603-00 Police Reports	0	145.00	1,701.00	0.00	(1,701.00)	1,573.00
TOTAL COURT REVENUE	250,000	20,363.19	106,073.16	42.43	143,926.84	116,350.74
<u>INTEREST INCOME</u>						
10-41701-00 Interest Income	8,000	646.82	4,380.06	54.75	3,619.94	4,160.65
TOTAL INTEREST INCOME	8,000	646.82	4,380.06	54.75	3,619.94	4,160.65
<u>MISCELLANEOUS REVENUE</u>						
10-41801-00 Miscellaneous	10,000	572.11	5,972.50	59.73	4,027.50	12,207.47
10-41802-00 Leased Properties	5,880	0.00	0.00	0.00	5,880.00	0.00
10-41803-99 FEMA Flood Reparations	0	8,463.97	16,345.19	0.00	(16,345.19)	15,802.89
10-41804-07 Bulletproof Vest Grant	1,500	0.00	756.00	50.40	744.00	345.00
10-41805-00 Sale of Vehicles/Equipment	8,000	0.00	0.00	0.00	8,000.00	0.00
10-41807-01 Insurance Claim Reimb.	0	0.00	5,716.00	0.00	(5,716.00)	1,445.00
10-41808-00 POST Monies	1,303	0.00	0.00	0.00	1,303.00	0.00
TOTAL MISCELLANEOUS REVENUE	26,683	9,036.08	28,789.69	107.90	(2,106.69)	29,800.36
<u>TRANSFERS IN</u>						
10-41901-00 Transfer f Transportation Fu	240,000	20,000.00	120,000.00	50.00	120,000.00	122,500.00
10-41903-00 Administration Fee	103,530	8,627.50	51,765.00	50.00	51,765.00	50,750.00
TOTAL TRANSFERS IN	343,530	28,627.50	171,765.00	50.00	171,765.00	173,250.00
TOTAL REVENUE	4,016,236	365,760.31	2,531,365.82	63.03	1,484,870.18	2,358,077.62

CITY OF PARKVILLE
REVENUE AND EXPENSE REPORT
AS OF: JUNE 30TH, 2016

10 -General Fund
ADMINISTRATION
EXPENDITURES

50.00% OF FISCAL YEAR COMPLETED

	ANNUAL BUDGET	PERIOD TO DATE ACTUAL	YEAR TO DATE ACTUAL	% USED	BUDGET BALANCE	PRIOR FY YEAR TO DATE
<u>PERSONNEL</u>						
10-501.01-01-00 Salaries	326,252	24,259.94	147,164.89	45.11	179,087.11	138,833.02
10-501.01-03-00 Overtime	1,500	0.00	0.00	0.00	1,500.00	0.00
10-501.01-11-00 Mayor and Aldermen	57,600	4,430.90	25,081.98	43.55	32,518.02	26,571.55
10-501.01-21-00 FICA & Medicare	26,826	2,094.84	13,666.95	50.95	13,159.05	12,642.71
10-501.01-22-00 Retirement	25,820	1,874.32	12,053.34	46.68	13,766.66	10,795.09
10-501.01-32-00 Exp Allowance-Bd of Alde	0	0.00	0.00	0.00	0.00	1,170.00
10-501.01-33-00 Auto Allow-City Administ	1,200	100.00	600.00	50.00	600.00	600.00
10-501.01-40-00 Membership Fees & Dues -	1,000	0.00	340.00	34.00	660.00	505.00
10-501.01-41-00 Membership Fees & Dues -	2,900	323.75	2,010.75	69.34	889.25	447.00
10-501.01-41-02 Professional Dev - Staff	11,000	431.76	5,148.03	46.80	5,851.97	5,606.25
10-501.01-41-03 Professional Dev - Board	5,500	45.00	901.60	16.39	4,598.40	537.50
TOTAL PERSONNEL	459,598	33,560.51	206,967.54	45.03	252,630.46	197,708.12
<u>INSURANCE</u>						
10-501.02-01-00 Liability Insurance	68,000	36,789.90	80,921.70	119.00	(12,921.70)	64,543.68
10-501.02-01-01 Insurance Deductible	20,000	0.00	6,426.00	32.13	13,574.00	0.00
10-501.02-02-00 Health, Life & Dental	36,499	3,435.65	20,650.87	56.58	15,848.13	18,405.27
10-501.02-03-00 Workers Compensation	1,500	474.49	1,062.54	70.84	437.46	772.00
10-501.02-04-00 Unemployment	2,500	0.00	0.00	0.00	2,500.00	0.00
10-501.02-05-00 Property Insurance	18,000	6,932.01	16,198.36	89.99	1,801.64	11,363.96
TOTAL INSURANCE	146,499	47,632.05	125,259.47	85.50	21,239.53	95,084.91
<u>UTILITIES</u>						
10-501.03-01-00 Telephone & Voicemail	6,000	497.45	2,594.20	43.24	3,405.80	1,976.58
10-501.03-02-00 Electricity	58,500	4,349.41	23,243.51	39.73	35,256.49	20,797.25
10-501.03-04-00 Water	6,250	817.19	2,645.79	42.33	3,604.21	2,077.10
10-501.03-05-00 Mobile Phones & Pagers	120	10.00	60.00	50.00	60.00	50.00
10-501.03-07-00 Train Depot Utilities	0	0.00	105.32	0.00	(105.32)	0.00
10-501.03-08-00 Cable	2,100	174.77	1,048.62	49.93	1,051.38	1,049.42
10-501.03-09-00 Trash Hauling	300	0.00	150.00	50.00	150.00	150.00
TOTAL UTILITIES	73,270	5,848.82	29,847.44	40.74	43,422.56	26,100.35
<u>CAPITAL EXPENDITURES</u>						
10-501.04-22-00 Lease Purchase-Office Eq	1,200	0.00	417.00	34.75	783.00	218.00
TOTAL CAPITAL EXPENDITURES	1,200	0.00	417.00	34.75	783.00	218.00
<u>OTHER PURCHASES</u>						
10-501.05-01-00 Office Supplies & Consum	5,000	254.30	1,763.61	35.27	3,236.39	2,151.81
10-501.05-02-00 Postage	1,350	196.94	945.78	70.06	404.22	605.36
10-501.05-04-00 Printing	700	35.00	335.00	47.86	365.00	514.05
10-501.05-05-00 Publications	250	0.00	236.00	94.40	14.00	236.00
TOTAL OTHER PURCHASES	7,300	486.24	3,280.39	44.94	4,019.61	3,507.22
<u>MAINTENANCE</u>						
10-501.06-01-00 Building Maint & Repair	20,000	295.89	13,473.04	67.37	6,526.96	5,141.65
10-501.06-01-01 HVAC Maintenance & Repai	2,500	373.00	649.66	25.99	1,850.34	0.00
10-501.06-02-00 Janitorial Services/Supp	11,000	0.00	3,514.38	31.95	7,485.62	4,494.42

CITY OF PARKVILLE
REVENUE AND EXPENSE REPORT
AS OF: JUNE 30TH, 2016

10 -General Fund

ADMINISTRATION

50.00% OF FISCAL YEAR COMPLETED

EXPENDITURES

	ANNUAL BUDGET	PERIOD TO DATE ACTUAL	YEAR TO DATE ACTUAL	% USED	BUDGET BALANCE	PRIOR FY YEAR TO DATE
10-501.06-11-00 Train Depot Maint	6,200	0.00	271.28	4.38	5,928.72	21.72
10-501.06-34-00 Office Equipment Mainten	2,500	0.00	2,074.80	82.99	425.20	928.71
TOTAL MAINTENANCE	42,200	668.89	19,983.16	47.35	22,216.84	10,586.50
<u>CITY SERVICES</u>						
10-501.07-01-00 Elections	2,500	0.00	2,342.60	93.70	157.40	1,958.25
10-501.07-02-00 Advertising/Public Notic	6,120	0.00	1,085.00	17.73	5,035.00	81.78
10-501.07-04-00 Credit Card Fees	2,000	0.00	0.00	0.00	2,000.00	0.00
10-501.07-47-00 MARC HHW Program	5,776	0.00	5,776.16	100.00	0.16	5,776.16
10-501.07-99-00 FOPAS - Animal Control	6,000	500.00	2,000.00	33.33	4,000.00	3,500.00
TOTAL CITY SERVICES	22,396	500.00	11,203.76	50.03	11,192.24	11,316.19
<u>PROFESSIONAL FEES</u>						
10-501.08-01-00 Attorney/Legal Fees	120,000	6,450.00	42,705.00	35.59	77,295.00	46,399.41
10-501.08-01-01 Litigation (New)	60,000	0.00	11,816.43	19.69	48,183.57	0.00
10-501.08-02-00 Auditor Fees	18,120	0.00	9,060.00	50.00	9,060.00	0.00
10-501.08-02-02 Professional Services	48,000	0.00	34,361.88	71.59	13,638.12	26,907.64
TOTAL PROFESSIONAL FEES	246,120	6,450.00	97,943.31	39.79	148,176.69	73,307.05
<u>OTHER EXPENDITURES</u>						
10-501.09-04-00 Holiday Decorations	900	0.00	115.60	12.84	784.40	350.00
10-501.09-11-00 Cemetery Maintenance	4,000	0.00	1,498.00	37.45	2,502.00	1,298.50
10-501.09-20-02 Exec Session Meeting Sup	2,000	20.00	496.23	24.81	1,503.77	483.27
10-501.09-20-07 Meeting Supplies	500	0.00	60.27	12.05	439.73	62.80
10-501.09-21-00 Misc-Other	6,000	703.29	5,073.54	84.56	926.46	2,085.63
TOTAL OTHER EXPENDITURES	13,400	723.29	7,243.64	54.06	6,156.36	4,280.20
<u>TRANSFERS-OTHER SOURCES</u>						
10-501.20-20-00 Transfer to Emergency Re	317,500	0.00	0.00	0.00	317,500.00	0.00
TOTAL TRANSFERS-OTHER SOURCES	317,500	0.00	0.00	0.00	317,500.00	0.00
TOTAL ADMINISTRATION	1,329,483	95,869.80	502,145.71	37.77	827,337.29	422,108.54

CITY OF PARKVILLE
REVENUE AND EXPENSE REPORT
AS OF: JUNE 30TH, 2016

10 -General Fund

POLICE

50.00% OF FISCAL YEAR COMPLETED

EXPENDITURES

	ANNUAL BUDGET	PERIOD TO DATE ACTUAL	YEAR TO DATE ACTUAL	% USED	BUDGET BALANCE	PRIOR FY YEAR TO DATE
PERSONNEL						
10-505.01-01-00 Salaries	798,200	55,739.76	336,676.15	42.18	461,523.85	334,411.93
10-505.01-03-00 Overtime	15,000	953.08	5,154.70	34.36	9,845.30	5,322.22
10-505.01-21-00 FICA & Medicare	61,457	4,110.61	26,707.26	43.46	34,749.74	26,708.37
10-505.01-22-00 Retirement	53,825	3,661.86	21,974.63	40.83	31,850.37	19,564.26
10-505.01-41-00 Membership Fees & Dues	950	0.00	300.00	31.58	650.00	400.00
10-505.01-41-02 Professional Development	4,500	16.00	2,647.00	58.82	1,853.00	146.00
10-505.01-43-00 Tuition Reimbursement	2,000	0.00	0.00	0.00	2,000.00	577.50
TOTAL PERSONNEL	935,932	64,481.31	393,459.74	42.04	542,472.26	387,130.28
INSURANCE						
10-505.02-02-00 Health, Life & Dental	140,448	10,928.53	65,247.66	46.46	75,200.34	66,327.06
10-505.02-03-00 Workers Compensation	39,490	17,515.42	33,473.40	84.76	6,016.60	35,900.37
10-505.02-04-00 Unemployment	1,500	0.00	0.00	0.00	1,500.00	0.00
TOTAL INSURANCE	181,438	28,443.95	98,721.06	54.41	82,716.94	102,227.43
UTILITIES						
10-505.03-01-00 Telephone & Voicemail	900	59.45	238.49	26.50	661.51	687.11
10-505.03-05-00 Mobile Phone & Pagers	4,500	321.67	1,645.30	36.56	2,854.70	1,622.08
TOTAL UTILITIES	5,400	381.12	1,883.79	34.89	3,516.21	2,309.19
CAPITAL EXPENDITURES						
OTHER PURCHASES						
10-505.05-01-00 Office Supplies & Consum	2,800	0.00	569.65	20.34	2,230.35	542.76
10-505.05-02-00 Postage	250	9.62	61.59	24.64	188.41	69.78
10-505.05-04-00 Printing	500	0.00	100.00	20.00	400.00	85.00
10-505.05-20-00 Small Office Equipment	1,000	0.00	0.00	0.00	1,000.00	0.00
10-505.05-21-00 Equipment and Handtools	9,000	1,882.05	3,256.19	36.18	5,743.81	218.87
10-505.05-22-01 Terminal - Rejis	1,400	578.07	903.42	64.53	496.58	903.42
10-505.05-22-02 Terminal - Platte Co	2,300	0.00	2,014.32	87.58	285.68	2,014.32
10-505.05-31-00 Uniforms	7,000	5.99	754.59	10.78	6,245.41	1,397.17
10-505.05-99-00 Other Purchases	500	0.00	0.00	0.00	500.00	8.00
TOTAL OTHER PURCHASES	24,750	2,475.73	7,659.76	30.95	17,090.24	5,239.32
MAINTENANCE						
10-505.06-21-00 Vehicle Repair & Mainten	15,000	670.74	4,870.25	32.47	10,129.75	4,810.05
10-505.06-21-01 Equipment Repair & Maint	1,800	0.00	326.00	18.11	1,474.00	608.48
10-505.06-22-00 Vehicle Gas & Oil	45,000	0.00	9,168.36	20.37	35,831.64	9,560.60
10-505.06-32-02 Crimestar Maintenance	1,500	0.00	0.00	0.00	1,500.00	0.00
10-505.06-34-00 Office Equipment/Mainten	2,000	118.83	728.59	36.43	1,271.41	665.42
TOTAL MAINTENANCE	65,300	789.57	15,093.20	23.11	50,206.80	15,644.55
CITY SERVICES						
10-505.07-56-00 Hiring/Substance Screeni	4,000	0.00	0.00	0.00	4,000.00	1,623.00
10-505.07-57-00 Crime Commission	500	0.00	500.00	100.00	0.00	500.00
10-505.07-81-00 Lab Work	2,000	0.00	0.00	0.00	2,000.00	0.00
10-505.07-90-00 Contractual Service Agre	2,000	0.00	360.00	18.00	1,640.00	360.00

CITY OF PARKVILLE
 REVENUE AND EXPENSE REPORT
 AS OF: JUNE 30TH, 2016

10 -General Fund.

POLICE

50.00% OF FISCAL YEAR COMPLETED

EXPENDITURES

	ANNUAL BUDGET	PERIOD TO DATE ACTUAL	YEAR TO DATE ACTUAL	% USED	BUDGET BALANCE	PRIOR FY YEAR TO DATE
10-505.07-99-00 Other City Services	700	0.00	144.00	20.57	556.00	0.00
TOTAL CITY SERVICES	9,200	0.00	1,004.00	10.91	8,196.00	2,483.00
<u>OTHER EXPENDITURES</u>						
10-505.09-21-00 Miscellaneous	350	0.00	0.00	0.00	350.00	0.00
10-505.09-21-04 Harvester Deer Donation	1,500	0.00	50.00	3.33	1,450.00	0.00
TOTAL OTHER EXPENDITURES	1,850	0.00	50.00	2.70	1,800.00	0.00
TOTAL POLICE	1,223,870	96,571.68	517,871.55	42.31	705,998.45	515,033.77

CITY OF PARKVILLE
REVENUE AND EXPENSE REPORT
AS OF: JUNE 30TH, 2016

10 -General Fund
MUNICIPAL COURT
EXPENDITURES

50.00% OF FISCAL YEAR COMPLETED

	ANNUAL BUDGET	PERIOD TO DATE ACTUAL	YEAR TO DATE ACTUAL	% USED	BUDGET BALANCE	PRIOR FY YEAR TO DATE
PERSONNEL						
10-510.01-01-00 Salaries	50,800	4,447.14	24,580.68	48.39	26,219.32	23,944.01
10-510.01-03-00 Overtime	300	0.00	0.00	0.00	300.00	0.00
10-510.01-11-00 Judge	18,000	1,384.62	8,315.36	46.20	9,684.64	8,491.18
10-510.01-21-00 FICA & Medicare	5,441	476.31	2,725.83	50.10	2,715.17	2,595.27
10-510.01-22-00 Retirement	2,160	201.67	1,127.16	52.18	1,032.84	1,023.58
10-510.01-32-00 Expense Allow - Judge	540	45.00	270.00	50.00	270.00	270.00
10-510.01-41-00 Memberships, Fees & Dues	500	0.00	100.00	20.00	400.00	250.00
10-510.01-41-02 Professional Development	5,000	1,267.46	3,744.38	74.89	1,255.62	3,466.52
10-510.01-51-00 Prosecutor/Assistant	15,000	1,250.00	7,500.00	50.00	7,500.00	9,650.00
10-510.01-51-02 Public Defender	7,200	600.00	3,600.00	50.00	3,600.00	3,600.00
TOTAL PERSONNEL	104,941	9,672.20	51,963.41	49.52	52,977.59	53,290.56
INSURANCE						
10-510.02-02-00 Health, Life & Dental	9,660	827.70	4,535.12	46.95	5,124.88	4,908.54
10-510.02-03-00 Workers Compensation	4,200	2,326.45	3,747.12	89.22	452.88	4,212.11
TOTAL INSURANCE	13,860	3,154.15	8,282.24	59.76	5,577.76	9,120.65
UTILITIES						
10-510.03-05-00 Mobile Phone & Pagers	120	10.00	60.00	50.00	60.00	60.00
TOTAL UTILITIES	120	10.00	60.00	50.00	60.00	60.00
CAPITAL EXPENDITURES						
OTHER PURCHASES						
10-510.05-01-00 Office Supplies & Consum	1,800	0.00	315.05	17.50	1,484.95	250.07
10-510.05-02-00 Postage	500	25.29	115.16	23.03	384.84	116.56
10-510.05-04-00 Printing	4,500	0.00	2,584.91	57.44	1,915.09	1,907.36
10-510.05-05-00 Publications	350	0.00	287.75	82.21	62.25	250.00
10-510.05-06-00 Processing Fees	2,200	0.00	132.32	6.01	2,067.68	645.36
TOTAL OTHER PURCHASES	9,350	25.29	3,435.19	36.74	5,914.81	3,169.35
MAINTENANCE						
10-510.06-32-00 REJIS System	700	0.00	0.00	0.00	700.00	0.00
10-510.06-33-00 Software Support Agreeme	2,400	0.00	0.00	0.00	2,400.00	2,277.86
10-510.06-34-00 Office Equipment Mainten	800	0.00	50.21	6.28	749.79	59.99
TOTAL MAINTENANCE	3,900	0.00	50.21	1.29	3,849.79	2,337.85
CITY SERVICES						
10-510.07-80-00 Boarding of Prisoners	14,000	0.00	2,848.59	20.35	11,151.41	1,125.50
10-510.07-82-00 Bailiff	6,000	781.92	2,481.14	41.35	3,518.86	1,874.65
10-510.07-82-01 Translator	800	120.35	240.70	30.09	559.30	367.10
TOTAL CITY SERVICES	20,800	902.27	5,570.43	26.78	15,229.57	3,367.25
OTHER EXPENDITURES						
10-510.09-21-00 Miscellaneous	500	0.00	52.96	10.59	447.04	368.53
TOTAL OTHER EXPENDITURES	500	0.00	52.96	10.59	447.04	368.53
TOTAL MUNICIPAL COURT	153,471	13,763.91	69,414.44	45.23	84,056.56	71,714.19

CITY OF PARKVILLE
REVENUE AND EXPENSE REPORT
AS OF: JUNE 30TH, 2016

10 -General Fund

PUBLIC WORKS

50.00% OF FISCAL YEAR COMPLETED

EXPENDITURES

	ANNUAL BUDGET	PERIOD TO DATE ACTUAL	YEAR TO DATE ACTUAL	% USED	BUDGET BALANCE	PRIOR FY YEAR TO DATE
PERSONNEL						
10-515.01-01-00 Salaries	138,500	11,883.29	59,262.35	42.79	79,237.65	48,764.80
10-515.01-21-00 FICA & Medicare	9,902	897.87	4,786.38	48.34	5,115.62	3,941.85
10-515.01-22-00 Retirement	4,467	342.36	2,212.47	49.53	2,254.53	0.00
10-515.01-33-00 Auto Allow-Public Wks Di	3,000	250.00	1,500.00	50.00	1,500.00	1,500.00
10-515.01-41-00 Membership Fees & Dues	600	0.00	199.00	33.17	401.00	26.25
10-515.01-41-02 Professional Development	3,800	1,094.69	1,694.60	44.59	2,105.40	297.37
10-515.01-43-00 Tuition Reimbursement	0	500.00	500.00	0.00	500.00	500.00
TOTAL PERSONNEL	160,269	14,968.21	70,154.80	43.77	90,114.20	55,030.27
INSURANCE						
10-515.02-02-00 Health, Life & Dental	12,948	1,090.97	6,556.63	50.64	6,391.37	6,132.33
10-515.02-03-00 Workers Compensation	500	142.35	343.57	68.71	156.43	330.86
10-515.02-04-00 Unemployment	1,000	0.00	0.00	0.00	1,000.00	0.00
TOTAL INSURANCE	14,448	1,233.32	6,900.20	47.76	7,547.80	6,463.19
UTILITIES						
10-515.03-05-00 Mobile Phones & Pagers	720	60.59	342.98	47.64	377.02	303.15
TOTAL UTILITIES	720	60.59	342.98	47.64	377.02	303.15
CAPITAL EXPENDITURES						
OTHER PURCHASES						
10-515.05-01-00 Office Supplies & Consum	750	110.52	363.43	48.46	386.57	537.17
10-515.05-02-00 Postage	150	37.81	64.45	42.97	85.55	25.07
10-515.05-04-00 Printing	250	0.00	2.00	0.80	248.00	70.00
10-515.05-31-00 Uniforms	250	0.00	0.00	0.00	250.00	119.37
TOTAL OTHER PURCHASES	1,400	148.33	429.88	30.71	970.12	751.61
MAINTENANCE						
10-515.06-36-00 Tornado Siren	3,350	0.00	1,404.00	41.91	1,946.00	1,212.00
TOTAL MAINTENANCE	3,350	0.00	1,404.00	41.91	1,946.00	1,212.00
PROFESSIONAL FEES						
10-515.08-03-00 Engineer & Planning Fees	35,000	506.00	3,251.93	9.29	31,748.07	19,076.42
TOTAL PROFESSIONAL FEES	35,000	506.00	3,251.93	9.29	31,748.07	19,076.42
OTHER EXPENDITURES						
10-515.09-21-00 Miscellaneous	500	36.00	139.95	27.99	360.05	844.09
TOTAL OTHER EXPENDITURES	500	36.00	139.95	27.99	360.05	844.09
TOTAL PUBLIC WORKS	215,687	16,952.45	82,623.74	38.31	133,063.26	83,680.73

CITY OF PARKVILLE
REVENUE AND EXPENSE REPORT
AS OF: JUNE 30TH, 2016

10 -General Fund
COMMUNITY DEVELOPMENT
EXPENDITURES

50.00% OF FISCAL YEAR COMPLETED

	ANNUAL BUDGET	PERIOD TO DATE ACTUAL	YEAR TO DATE ACTUAL	% USED	BUDGET BALANCE	PRIOR FY YEAR TO DATE
PERSONNEL						
10-518.01-01-00 Salaries	228,900	15,860.34	90,598.99	39.58	138,301.01	87,890.07
10-518.01-21-00 FICA & Medicare	17,893	1,192.44	7,107.36	39.72	10,785.64	6,966.70
10-518.01-22-00 Retirement	12,054	460.00	2,987.16	24.78	9,066.84	5,063.95
10-518.01-31-00 Auto Allowance - Other	2,400	200.00	1,000.00	41.67	1,400.00	1,200.00
10-518.01-41-00 Membership Fees & Dues	1,675	0.00	130.00	7.76	1,545.00	365.00
10-518.01-41-02 Professional Development	5,400	0.00	251.02	4.65	5,148.98	60.00
TOTAL PERSONNEL	268,322	17,712.78	102,074.53	38.04	166,247.47	101,545.72
INSURANCE						
10-518.02-02-00 Health, Life & Dental	25,701	2,196.67	12,342.05	48.02	13,358.95	12,627.31
10-518.02-03-00 Workers Compensation	1,000	189.80	505.51	50.55	494.49	441.14
10-518.02-04-00 Unemployment	1,000	0.00	0.00	0.00	1,000.00	0.00
TOTAL INSURANCE	27,701	2,386.47	12,847.56	46.38	14,853.44	13,068.45
UTILITIES						
10-518.03-05-00 Mobile Phones & Pagers	1,600	132.08	660.46	41.28	939.54	659.32
TOTAL UTILITIES	1,600	132.08	660.46	41.28	939.54	659.32
CAPITAL EXPENDITURES						
OTHER PURCHASES						
10-518.05-01-00 Office Supplies & Consum	1,000	0.00	177.52	17.75	822.48	110.17
10-518.05-02-00 Postage	1,500	149.05	527.86	35.19	972.14	1,063.23
10-518.05-04-00 Printing	500	13.00	162.60	32.52	337.40	62.70
10-518.05-05-00 Publications	870	0.00	0.00	0.00	870.00	0.00
10-518.05-20-00 Small Office Equipment	0	0.00	8.99	0.00	(8.99)	0.00
10-518.05-21-00 Equipment & Handtools	300	0.00	36.50	12.17	263.50	0.00
10-518.05-31-00 Uniforms	500	0.00	0.00	0.00	500.00	0.00
TOTAL OTHER PURCHASES	4,670	162.05	913.47	19.56	3,756.53	1,236.10
MAINTENANCE						
10-518.06-21-00 Vehicle Repair & Mainten	750	22.50	22.50	3.00	727.50	1,180.78
10-518.06-22-00 Vehicle Gas & Oil	1,500	0.00	309.40	20.63	1,190.60	550.34
TOTAL MAINTENANCE	2,250	22.50	331.90	14.75	1,918.10	1,731.12
CITY SERVICES						
10-518.07-02-01 Public Notices	2,000	157.39	400.45	20.02	1,599.55	1,766.35
10-518.07-04-00 Code Enforcement	5,000	0.00	1,153.43	23.07	3,846.57	0.00
TOTAL CITY SERVICES	7,000	157.39	1,553.88	22.20	5,446.12	1,766.35
PROFESSIONAL FEES						
10-518.08-03-00 Engineering & Planning F	3,000	0.00	0.00	0.00	3,000.00	1,991.90
10-518.08-03-02 NPDES II / Arcview	1,500	0.00	1,244.55	82.97	255.45	250.00
TOTAL PROFESSIONAL FEES	4,500	0.00	1,244.55	27.66	3,255.45	2,241.90

CITY OF PARKVILLE
 REVENUE AND EXPENSE REPORT
 AS OF: JUNE 30TH, 2016

10 -General Fund
 COMMUNITY DEVELOPMENT
 EXPENDITURES

50.00% OF FISCAL YEAR COMPLETED

	ANNUAL BUDGET	PERIOD TO DATE ACTUAL	YEAR TO DATE ACTUAL	% USED	BUDGET BALANCE	PRIOR FY YEAR TO DATE
<u>OTHER EXPENDITURES</u>						
10-518.09-20-00 Planning Com. Meeting Su	150	0.00	0.00	0.00	150.00	7.96
10-518.09-21-00 Miscellaneous	200	<u>36.00</u>	<u>168.31</u>	<u>84.16</u>	<u>31.69</u>	<u>81.55</u>
TOTAL OTHER EXPENDITURES	<u>350</u>	<u>36.00</u>	<u>168.31</u>	<u>48.09</u>	<u>181.69</u>	<u>89.51</u>
TOTAL COMMUNITY DEVELOPMENT	316,393	20,609.27	119,794.66	37.86	196,598.34	122,338.47

CITY OF PARKVILLE
REVENUE AND EXPENSE REPORT
AS OF: JUNE 30TH, 2016

10 -General Fund
STREET DEPARTMENT
EXPENDITURES

50.00% OF FISCAL YEAR COMPLETED

	ANNUAL BUDGET	PERIOD TO DATE ACTUAL	YEAR TO DATE ACTUAL	% USED	BUDGET BALANCE	PRIOR FY YEAR TO DATE
PERSONNEL						
10-520.01-01-00 Salaries	237,130	18,543.04	110,171.98	46.46	126,958.02	105,461.00
10-520.01-03-00 Overtime	15,000	923.84	4,888.73	32.59	10,111.27	6,750.48
10-520.01-21-00 FICA & Medicare	18,285	1,388.37	8,939.66	48.89	9,345.34	8,696.52
10-520.01-22-00 Retirement	14,102	1,090.15	6,603.03	46.82	7,498.97	6,126.93
10-520.01-41-02 Professional Development	500	160.00	160.00	32.00	340.00	0.00
TOTAL PERSONNEL	285,017	22,105.40	130,763.40	45.88	154,253.60	127,034.93
INSURANCE						
10-520.02-02-00 Health, Life & Dental	46,929	3,987.04	25,939.91	55.27	20,989.09	27,577.90
10-520.02-03-00 Workers Compensation	25,000	9,685.75	19,788.32	79.15	5,211.68	22,518.82
10-520.02-04-00 Unemployment	1,500	0.00	0.00	0.00	1,500.00	138.21
TOTAL INSURANCE	73,429	13,672.79	45,728.23	62.28	27,700.77	50,234.93
UTILITIES						
10-520.03-01-00 Telephone & Voicemail	1,400	119.99	544.28	38.88	855.72	645.57
10-520.03-02-00 Electricity	3,800	165.06	1,511.64	39.78	2,288.36	1,418.35
10-520.03-03-00 Gas	2,200	42.38	680.79	30.95	1,519.21	1,057.18
10-520.03-04-00 Water	4,200	358.02	1,456.16	34.67	2,743.84	1,739.01
10-520.03-05-00 Mobile Phones & Pagers	2,800	189.59	989.33	35.33	1,810.67	1,007.50
10-520.03-09-00 Trash Hauling	660	0.00	500.00	75.76	160.00	165.00
TOTAL UTILITIES	15,060	875.04	5,682.20	37.73	9,377.80	6,032.61
CAPITAL EXPENDITURES						
OTHER PURCHASES						
10-520.05-01-00 Office Supplies & Consum	800	0.00	208.05	26.01	591.95	142.95
10-520.05-20-00 Small Office Equipment	500	0.00	0.00	0.00	500.00	74.99
10-520.05-21-00 Handtools	6,000	599.06	1,541.37	25.69	4,458.63	2,602.18
10-520.05-31-00 Uniforms	2,600	0.00	109.76	4.22	2,490.24	586.60
TOTAL OTHER PURCHASES	9,900	599.06	1,859.18	18.78	8,040.82	3,406.72
MAINTENANCE						
10-520.06-22-00 Vehicle Gas & Oil	0	0.00	78.20	0.00	(78.20)	0.00
TOTAL MAINTENANCE	0	0.00	78.20	0.00	(78.20)	0.00
CITY SERVICES						
10-520.07-41-00 Street Lights-Electricit	0	0.00	19.56	0.00	(19.56)	0.00
10-520.07-43-00 Spring/Fall Cleanup	13,500	1,375.00	6,188.51	45.84	7,311.49	1,128.00
10-520.07-43-01 Recycling Extravaganza	0	0.00	0.00	0.00	0.00	1,916.40
10-520.07-43-02 HHW Collection Event	400	137.43	537.43	134.36	(137.43)	0.00
10-520.07-51-00 Mosquito & Weed Control	2,000	0.00	670.43	33.52	1,329.57	790.16
10-520.07-55-00 Animal Control	100	0.00	0.00	0.00	100.00	0.00
TOTAL CITY SERVICES	16,000	1,512.43	7,415.93	46.35	8,584.07	3,834.56
PROFESSIONAL FEES						

CITY OF PARKVILLE
 REVENUE AND EXPENSE REPORT
 AS OF: JUNE 30TH, 2016

10 -General Fund
 STREET DEPARTMENT
 EXPENDITURES

50.00% OF FISCAL YEAR COMPLETED

	ANNUAL BUDGET	PERIOD TO DATE ACTUAL	YEAR TO DATE ACTUAL	% USED	BUDGET BALANCE	PRIOR FY YEAR TO DATE
<u>OTHER EXPENDITURES</u>						
10-520.09-21-00 Miscellaneous	250	0.00	0.00	0.00	250.00	176.20
TOTAL OTHER EXPENDITURES	250	0.00	0.00	0.00	250.00	176.20
TOTAL STREET DEPARTMENT	399,656	38,764.72	191,527.14	47.92	208,128.86	190,719.95

C I T Y O F P A R K V I L L E
REVENUE AND EXPENSE REPORT
AS OF: JUNE 30TH, 2016

10 -General Fund
PARKS DEPARTMENT
EXPENDITURES

50.00% OF FISCAL YEAR COMPLETED

	ANNUAL BUDGET	PERIOD TO DATE ACTUAL	YEAR TO DATE ACTUAL	% USED	BUDGET BALANCE	PRIOR FY YEAR TO DATE
PERSONNEL						
10-525.01-01-00 Salaries	106,300	8,156.10	46,364.47	43.62	59,935.53	60,250.14
10-525.01-03-00 Overtime	6,000	463.44	2,596.76	43.28	3,403.24	3,341.02
10-525.01-05-00 Seasonal Landscape Maint	54,080	6,363.50	16,536.00	30.58	37,544.00	8,157.50
10-525.01-21-00 FICA & Medicare	11,442	1,118.37	5,196.73	45.42	6,245.27	5,375.36
10-525.01-22-00 Retirement	5,020	482.70	2,433.69	48.48	2,586.31	3,434.89
10-525.01-41-00 Membership Fees & Dues	100	0.00	0.00	0.00	100.00	0.00
10-525.01-41-02 Professional Development	500	40.00	100.00	20.00	400.00	25.56
TOTAL PERSONNEL	183,442	16,624.11	73,227.65	39.92	110,214.35	80,584.47
INSURANCE						
10-525.02-02-00 Health, Life & Dental	22,440	1,657.69	10,305.18	45.92	12,134.82	12,809.73
10-525.02-03-00 Workers Compensation	7,000	3,557.92	6,542.26	93.46	457.74	6,057.55
10-525.02-04-00 Unemployment	500	0.00	1,949.04	389.81	1,449.04	0.00
TOTAL INSURANCE	29,940	5,215.61	18,796.48	62.78	11,143.52	18,867.28
UTILITIES						
10-525.03-01-00 Telephone & Voicemail	1,900	141.15	710.87	37.41	1,189.13	835.29
10-525.03-02-00 Electricity	18,000	2,123.22	8,510.67	47.28	9,489.33	7,943.41
10-525.03-03-00 Gas	1,500	37.96	491.99	32.80	1,008.01	674.61
10-525.03-04-00 Water	9,000	764.60	3,073.30	34.15	5,926.70	2,752.00
10-525.03-05-00 Mobile Phones & Pagera	1,300	82.37	411.94	31.69	888.06	414.10
10-525.03-09-00 Trash Hauling	1,500	0.00	775.00	51.67	725.00	335.00
TOTAL UTILITIES	33,200	3,149.30	13,973.77	42.09	19,226.23	12,954.41
CAPITAL EXPENDITURES						
OTHER PURCHASES						
10-525.05-01-00 Office Supplies & Consum	500	0.00	11.98	2.40	488.02	178.48
10-525.05-02-00 Postage	75	0.00	2.40	3.20	72.60	0.42
10-525.05-04-00 Printing	400	752.00	91.40	22.85	308.60	215.50
10-525.05-05-00 Publications	100	0.00	0.00	0.00	100.00	0.00
10-525.05-20-00 Small Office Equipment	400	0.00	0.00	0.00	400.00	0.00
10-525.05-21-00 Equipment & Handtools	6,500	349.26	1,680.73	25.86	4,819.27	4,957.12
10-525.05-31-00 Uniforms	2,000	168.00	756.32	37.82	1,243.68	873.80
10-525.05-41-01 Restroom Supplies	2,700	334.29	1,525.96	56.52	1,174.04	566.04
10-525.05-41-02 Trash Bags	4,300	359.82	2,107.54	49.01	2,192.46	2,144.90
10-525.05-41-03 Park Enhancements	5,000	2,870.00	4,902.70	98.05	97.30	2,819.35
10-525.05-42-00 Grass Seed & Fertilizer	2,800	0.00	1,457.00	52.04	1,343.00	337.78
10-525.05-99-00 Other Purchases	500	0.00	21.97	4.39	478.03	322.68
TOTAL OTHER PURCHASES	25,275	3,329.37	12,558.00	49.69	12,717.00	12,416.07
MAINTENANCE						
10-525.06-01-00 Buildings Maint & Repair	4,000	190.00	3,219.37	80.48	780.63	2,006.63
10-525.06-03-00 Restrooms	4,900	0.00	709.02	14.47	4,190.98	471.01
10-525.06-05-01 Stage Maintenance	150	0.00	83.67	55.78	66.33	0.00
10-525.06-05-02 Ballfield Maintenance	4,000	581.00	2,679.58	66.99	1,320.42	3,703.75
10-525.06-05-03 Trail Maintenance	3,600	381.10	419.94	11.67	3,180.06	223.17

REVENUE AND EXPENSE REPORT

AS OF: JUNE 30TH, 2016

10 -General Fund

PARKS DEPARTMENT

50.00% OF FISCAL YEAR COMPLETED

EXPENDITURES

	ANNUAL BUDGET	PERIOD TO DATE ACTUAL	YEAR TO DATE ACTUAL	% USED	BUDGET BALANCE	PRIOR FY YEAR TO DATE
10-525.06-12-00 Playground Equipment Rep	2,000	0.00	1,791.92	89.60	208.08	189.28
10-525.06-13-00 Spirit Fountain	2,500	139.47	3,443.25	137.73	943.25	3,560.00
10-525.06-21-00 Vehicle Repair & Mainten	6,500	244.76	518.70	7.98	5,981.30	2,905.41
10-525.06-21-01 Equipment Repair & Maint	3,500	32.68	2,129.65	60.85	1,370.35	621.81
10-525.06-21-02 Tractor Mowing Equipment	6,500	370.28	1,706.49	26.25	4,793.51	3,191.57
10-525.06-22-00 Vehicle Gas & Oil	7,500	0.00	748.11	9.97	6,751.89	1,799.94
10-525.06-22-01 Equipment Gas & Oil	5,000	0.00	883.89	17.68	4,116.11	1,209.61
TOTAL MAINTENANCE	50,150	1,939.29	18,333.59	36.56	31,816.41	19,882.18
<u>CITY SERVICES</u>						
10-525.07-20-00 Rental of Portable Toile	4,000	0.00	1,300.00	32.50	2,700.00	440.00
10-525.07-51-00 Mosquito & Weed Control	6,000	1,770.00	2,651.49	44.19	3,348.51	708.46
10-525.07-51-01 Landscaping	5,000	2,195.10	2,487.47	49.75	2,512.53	0.00
10-525.07-52-00 Tree Trimming & Removal	12,000	0.00	7,425.50	61.88	4,574.50	0.00
10-525.07-53-00 Tree Planting	5,000	93.50	818.50	16.37	4,181.50	3,269.25
10-525.07-60-00 Rental Equipment	1,000	97.00	150.00	15.00	850.00	49.50
TOTAL CITY SERVICES	33,000	4,155.60	14,832.96	44.95	18,167.04	4,467.21
<u>OTHER EXPENDITURES</u>						
10-525.09-21-00 Miscellaneous	1,000	72.00	532.95	53.30	467.05	448.95
TOTAL OTHER EXPENDITURES	1,000	72.00	532.95	53.30	467.05	448.95
TOTAL PARKS DEPARTMENT	356,007	34,485.28	152,255.40	42.77	203,751.60	149,620.57

CITY OF PARKVILLE
REVENUE AND EXPENSE REPORT
AS OF: JUNE 30TH, 2016

10 -General Fund

NATURE SANCTUARY

50.00% OF FISCAL YEAR COMPLETED

EXPENDITURES

	ANNUAL BUDGET	PERIOD TO DATE ACTUAL	YEAR TO DATE ACTUAL	% USED	BUDGET BALANCE	PRIOR FY YEAR TO DATE
<u>PERSONNEL</u>						
10-535.01-01-00 Salaries	25,064	2,339.25	7,199.57	28.72	17,864.43	7,968.03
10-535.01-03-00 Overtime Pay	0	67.50	67.50	0.00	67.50	0.00
10-535.01-21-00 FICA & Medicare	1,917	184.12	567.94	29.63	1,349.06	644.88
10-535.01-31-00 Expense Allowance-Other	200	0.00	0.00	0.00	200.00	0.00
TOTAL PERSONNEL	27,181	2,590.87	7,835.01	28.83	19,345.99	8,612.91
<u>UTILITIES</u>						
10-535.03-02-00 Electricity	600	20.08	97.84	16.31	502.16	0.00
TOTAL UTILITIES	600	20.08	97.84	16.31	502.16	0.00
<u>CAPITAL EXPENDITURES</u>						
<u>OTHER PURCHASES</u>						
10-535.05-01-00 Office Supplies & Consum	100	47.28	90.06	90.06	9.94	62.96
10-535.05-02-00 Postage	50	6.06	10.37	20.74	39.63	4.70
10-535.05-04-00 Printing	500	0.00	35.00	7.00	465.00	0.00
10-535.05-21-00 Equipment & Handtools	400	0.00	0.00	0.00	400.00	214.22
10-535.05-41-00 Materials	1,000	0.00	19.24	1.92	980.76	12.12
10-535.05-42-00 Program Expenses	2,700	608.83	621.93	23.03	2,078.07	422.38
TOTAL OTHER PURCHASES	4,750	662.17	776.60	16.35	3,973.40	716.38
<u>MAINTENANCE</u>						
10-535.06-01-00 Building Maintenance & R	950	95.00	570.00	60.00	380.00	231.95
10-535.06-05-03 Trail Maintenance	3,500	373.80	373.80	10.68	3,126.20	534.27
10-535.06-21-00 Vehicle Repair & Mainten	1,500	0.00	0.00	0.00	1,500.00	510.04
10-535.06-21-01 Equipment Repair & Maint	150	0.00	0.00	0.00	150.00	33.19
10-535.06-22-00 Vehicle Gas & Oil	400	0.00	41.97	10.49	358.03	64.30
TOTAL MAINTENANCE	6,500	468.80	985.77	15.17	5,514.23	1,373.75
<u>CITY SERVICES</u>						
10-535.07-51-00 Mosquito & Weed Control	150	41.57	41.57	27.71	108.43	37.90
TOTAL CITY SERVICES	150	41.57	41.57	27.71	108.43	37.90
<u>OTHER EXPENDITURES</u>						
10-535.09-21-00 Miscellaneous	500	15.29	63.91	12.78	436.09	292.64
TOTAL OTHER EXPENDITURES	500	15.29	63.91	12.78	436.09	292.64
TOTAL NATURE SANCTUARY	39,681	3,798.78	9,800.70	24.70	29,880.30	11,033.58

CITY OF PARKVILLE
REVENUE AND EXPENSE REPORT
AS OF: JUNE 30TH, 2016

10 -General Fund
CHANNEL 2 & WEBSITE
EXPENDITURES

50.00% OF FISCAL YEAR COMPLETED

	ANNUAL BUDGET	PERIOD TO DATE ACTUAL	YEAR TO DATE ACTUAL	% USED	BUDGET BALANCE	PRIOR FY YEAR TO DATE
<u>PERSONNEL</u>						
10-540.01-52-00 Technical Consultant/Int	10,200	0.00	2,550.00	25.00	7,650.00	4,250.00
10-540.01-53-00 Production Assistant/Int	2,100	0.00	400.00	19.05	1,700.00	750.00
TOTAL PERSONNEL	12,300	0.00	2,950.00	23.98	9,350.00	5,000.00
<u>CAPITAL EXPENDITURES</u>						
10-540.04-21-00 Office Equipment	200	0.00	0.00	0.00	200.00	0.00
TOTAL CAPITAL EXPENDITURES	200	0.00	0.00	0.00	200.00	0.00
<u>OTHER PURCHASES</u>						
10-540.05-03-00 Computer Equip/Access/Pr	500	0.00	0.00	0.00	500.00	0.00
TOTAL OTHER PURCHASES	500	0.00	0.00	0.00	500.00	0.00
<u>MAINTENANCE</u>						
10-540.06-31-00 Computer Maintenance	560	0.00	0.00	0.00	560.00	0.00
TOTAL MAINTENANCE	560	0.00	0.00	0.00	560.00	0.00
<u>OTHER EXPENDITURES</u>						
10-540.09-05-00 Newsletter/Website	0	0.00	0.00	0.00	0.00	2,507.98
10-540.09-05-01 Website Maintenance	250	0.00	0.00	0.00	250.00	99.95
TOTAL OTHER EXPENDITURES	250	0.00	0.00	0.00	250.00	2,607.93
TOTAL CHANNEL 2 & WEBSITE	13,810	0.00	2,950.00	21.36	10,860.00	7,607.93

C I T Y O F P A R K V I L L E
REVENUE AND EXPENSE REPORT
AS OF: JUNE 30TH, 2016

10 -General Fund

IT

50.00% OF FISCAL YEAR COMPLETED

EXPENDITURES

	ANNUAL BUDGET	PERIOD TO DATE ACTUAL	YEAR TO DATE ACTUAL	% USED	BUDGET BALANCE	PRIOR FY YEAR TO DATE
<u>PERSONNEL</u>						
10-555.01-52-00 Information Technology S	21,000	0.00	9,180.00	43.71	11,820.00	2,507.50
TOTAL PERSONNEL	21,000	0.00	9,180.00	43.71	11,820.00	2,507.50
<u>INSURANCE</u>						
10-555.02-01-00 Equipment	5,500	0.00	3,076.13	55.93	2,423.87	0.00
10-555.02-02-00 Software	14,960	0.00	13,645.71	91.21	1,314.29	13,464.77
10-555.02-04-00 Domain Registrations	390	0.00	723.92	185.62	(333.92)	145.00
TOTAL INSURANCE	20,850	0.00	17,445.76	83.67	3,404.24	13,609.77
<u>MAINTENANCE</u>						
10-555.06-01-00 Maintenance & Repair	2,124	0.00	1,062.00	50.00	1,062.00	965.00
TOTAL MAINTENANCE	2,124	0.00	1,062.00	50.00	1,062.00	965.00
TOTAL IT	43,974	0.00	27,687.76	62.96	16,286.24	17,082.27

CITY OF PARKVILLE
 REVENUE AND EXPENSE REPORT
 AS OF: JUNE 30TH, 2016

10 -General Fund
 CAPITAL OUTLAY
 EXPENDITURES

50.00% OF FISCAL YEAR COMPLETED

	ANNUAL BUDGET	PERIOD TO DATE ACTUAL	YEAR TO DATE ACTUAL	% USED	BUDGET BALANCE	PRIOR FY YEAR TO DATE
<u>CAPITAL OUTLAY</u>						
10-560.50-10-00 Administration Capital O	0	0.00	6,698.77	0.00	(6,698.77)	0.00
10-560.50-50-00 Police Capital Outlay	<u>42,535</u>	<u>965.08</u>	<u>8,275.08</u>	<u>19.45</u>	<u>34,259.92</u>	<u>0.00</u>
TOTAL CAPITAL OUTLAY	42,535	965.08	14,973.85	35.20	27,561.15	0.00
<u>CAPITAL OUTLAY</u>						
10-560.51-50-00 Public Works Capital Out	0	0.00	28,277.00	0.00	(28,277.00)	25,604.98
10-560.51-80-00 Com Development Capital	<u>109,000</u>	<u>9,800.00</u>	<u>11,130.46</u>	<u>10.21</u>	<u>97,869.54</u>	<u>21,077.44</u>
TOTAL CAPITAL OUTLAY	109,000	9,800.00	39,407.46	36.15	69,592.54	46,682.42
<u>CAPITAL OUTLAY</u>						
10-560.52-50-00 Parks Capital Outlay	<u>194,500</u>	<u>0.00</u>	<u>37,135.00</u>	<u>19.09</u>	<u>157,365.00</u>	<u>0.00</u>
TOTAL CAPITAL OUTLAY	194,500	0.00	37,135.00	19.09	157,365.00	0.00
<u>CAPITAL OUTLAY</u>						
10-560.55-50-00 IT Capital Outlay	<u>5,000</u>	<u>0.00</u>	<u>4,924.95</u>	<u>98.50</u>	<u>75.05</u>	<u>0.00</u>
TOTAL CAPITAL OUTLAY	<u>5,000</u>	<u>0.00</u>	<u>4,924.95</u>	<u>98.50</u>	<u>75.05</u>	<u>0.00</u>
TOTAL CAPITAL OUTLAY	351,035	10,765.08	96,441.26	27.47	254,593.74	46,682.42
TOTAL EXPENDITURES	<u>4,443,067</u>	<u>358,039.32</u>	<u>1,931,262.36</u>	<u>43.47</u>	<u>2,511,804.64</u>	<u>1,776,372.42</u>
EXCESS REVENUES OVER/(UNDER) EXPENDITURE(	426,831)	7,720.99	600,103.46		0.00	581,705.20

Sewer Fund (30)

Last Updated 07/14/2016

	2012 Actual	2013 Actual	2014 Actual	2015 Budget	2015 Actual	2016 Budget	2016 Amended	2016 YTD	2016 Projected	2017 Projected	2018 Projected	2019 Projected	2020 Projected	2021 Projected
<i>Beginning Fund Balance</i>	\$ 493,616	\$ 605,952	\$ 516,873	\$ 1,020,362	\$ 1,104,409	\$ 794,313	\$ 797,784	\$ 797,784	\$ 797,784	\$ 217,958	\$ 234,506	\$ 395,717	\$ 325,607	\$ 347,429
Revenues														
<i>Projected Rate Increase</i>			3.00%	3.00%	3.00%	2.50%	2.50%		2.50%	3.00%	3.00%	3.00%	2.50%	0.00%
Sewer Charges	962,603	937,785	1,016,426	1,027,940	1,020,684	1,014,750	1,014,750	470,867	1,014,750	1,045,193	1,076,548	1,108,845	1,136,566	1,136,566
Sewer Tap Fees	33,000	30,000	43,500	30,000	39,000	36,000	36,000	16,500	36,000	36,540	37,088	37,644	38,209	38,782
Sewer Impact Fees	30,800	28,000	42,000	28,000	36,400	33,600	33,600	15,400	33,600	34,104	34,616	35,135	35,662	36,197
MOAW Bill Collection Payment	715	686	562	650	643	650	650	-	650	650	650	650	650	650
Grinder Pump Administrative Fee	4,620	3,850	4,620	-	4,620	4,620	4,620	2,310	4,620	4,620	4,620	4,620	4,620	4,620
Interest Income	6,611	5,872	4,361	4,400	4,956	4,800	4,800	2,369	4,800	4,872	4,921	4,970	5,020	5,070
Transfer from Sewer CIP (33)	-	-	294,984	-	-	-	-	-	-	-	-	-	-	-
Miscellaneous	-	16	1,000	200	74	200	200	10	200	203	206	209	212	215
Sewer Fund Revenues:	1,038,349	1,006,209	1,407,454	1,091,190	1,106,376	1,094,620	1,094,620	507,456	1,094,620	1,126,182	1,158,649	1,192,073	1,220,939	1,222,100
Total Sources:	1,531,965	1,612,161	1,924,326	2,111,552	2,210,785	1,888,933	1,892,404	1,305,240	1,892,404	1,344,140	1,393,155	1,587,790	1,546,546	1,569,530
Expenditures														
Operating Expenses	453,316	449,989	462,065	519,812	494,544	520,116	538,596	245,927	537,893	529,780	539,630	549,669	559,901	570,330
Capital Expenses	18,146	5,636	59,988	802,275	459,088	734,500	838,200	233,092	847,528	293,300	168,000	419,700	348,500	212,400
Debt Service	198,952	202,233	191,504	332,785	357,870	185,495	185,495	73,727	185,495	180,953	182,095	182,947	178,651	179,311
Transfer to General Fund - Admin Fee	75,000	100,000	100,000	101,500	101,500	103,530	103,530	43,138	103,530	105,601	107,713	109,867	112,064	114,305
Other Transfers	180,600	337,431							-					
Sewer Fund Expenditures:	926,014	1,095,288	813,557	1,756,372	1,413,001	1,543,641	1,665,821	595,884	1,674,446	1,109,634	997,438	1,262,183	1,199,116	1,076,347
Estimated Working Capital (deficit):	605,952	516,873	1,110,769	355,180	797,784	345,292	226,583	709,356	217,958	234,506	395,717	325,607	347,429	493,183
TARGET*	\$331,031	\$339,730	\$332,020	\$488,113	\$481,796	\$341,407	\$346,027		\$345,851	\$339,798	\$343,931	\$347,831	\$346,642	\$350,470

* Target represents desired working capital of 90 days of operations in addition to the current fiscal year debt service payments as required by the Reserve Policy adopted December 3, 2013, by Resolution No. 12-01-13.

CITY OF PARKVILLE
REVENUE AND EXPENSE REPORT
AS OF: JUNE 30TH, 2016

30 -Sewer Service Fund
FINANCIAL SUMMARY

50.00% OF FISCAL YEAR COMPLETED

	ANNUAL BUDGET	PERIOD TO DATE ACTUAL	YEAR TO DATE ACTUAL	% USED	BUDGET BALANCE	PRIOR FY YEAR TO DATE
<u>REVENUE SUMMARY</u>						
OTHER REVENUE	1,089,620	75,104.74	505,077.26	46.35	584,542.74	483,575.89
INTEREST INCOME	4,800	370.69	2,368.50	49.34	2,431.50	2,413.74
MISCELLANEOUS REVENUE	200	0.00	10.00	5.00	190.00	0.00
TRANSFERS IN	<u>185,515</u>	<u>0.00</u>	<u>0.00</u>	<u>0.00</u>	<u>185,515.00</u>	<u>0.00</u>
TOTAL REVENUES	<u>1,280,135</u>	<u>75,475.43</u>	<u>507,455.76</u>	<u>39.64</u>	<u>772,679.24</u>	<u>485,989.63</u>
<u>EXPENDITURE SUMMARY</u>						
ADMINISTRATIVE	<u>1,543,641</u>	<u>54,506.70</u>	<u>595,883.87</u>	<u>38.60</u>	<u>947,757.13</u>	<u>703,492.79</u>
TOTAL EXPENDITURES	<u>1,543,641</u>	<u>54,506.70</u>	<u>595,883.87</u>	<u>38.60</u>	<u>947,757.13</u>	<u>703,492.79</u>
EXCESS REVENUES OVER/(UNDER) EXPENDITURE(	263,506)	20,968.73 (	88,428.11)	(	175,077.89) (	217,503.16)

CITY OF PARKVILLE
REVENUE AND EXPENSE REPORT
AS OF: JUNE 30TH, 2016

30 -Sewer Service Fund

FINANCIAL SUMMARY

50.00% OF FISCAL YEAR COMPLETED

REVENUES

	ANNUAL BUDGET	PERIOD TO DATE ACTUAL	YEAR TO DATE ACTUAL	% USED	BUDGET BALANCE	PRIOR FY YEAR TO DATE
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OTHER REVENUE

30-41501-00 Sewer Charges	1,014,750	8,535.93	52,653.39	5.19	962,096.61	38,274.63
30-41501-01 Sewer Charges - Data Tech	0	54,583.81	418,213.87	0.00	(418,213.87)	402,391.26
30-41502-00 Sewer Tap Fees	36,000	6,000.00	16,500.00	45.83	19,500.00	21,000.00
30-41502-01 Sewer Impact Fees	33,600	5,600.00	15,400.00	45.83	18,200.00	19,600.00
30-41503-00 Mo Am Bill Collection pymt	650	0.00	0.00	0.00	650.00	0.00
30-41504-00 Grinder Pump Admin Fee	4,620	385.00	2,310.00	50.00	2,310.00	2,310.00
TOTAL OTHER REVENUE	1,089,620	75,104.74	505,077.26	46.35	584,542.74	483,575.89

INTEREST INCOME

30-41701-00 Interest Income	4,800	370.69	2,368.50	49.34	2,431.50	2,413.74
TOTAL INTEREST INCOME	4,800	370.69	2,368.50	49.34	2,431.50	2,413.74

MISCELLANEOUS REVENUE

30-41804-00 Miscellaneous Revenue	200	0.00	10.00	5.00	190.00	0.00
TOTAL MISCELLANEOUS REVENUE	200	0.00	10.00	5.00	190.00	0.00

TRANSFERS IN

30-41901-00 Transfer from Sewer Fund	185,515	0.00	0.00	0.00	185,515.00	0.00
TOTAL TRANSFERS IN	185,515	0.00	0.00	0.00	185,515.00	0.00

TOTAL REVENUE	1,280,135	75,475.43	507,455.76	39.64	772,679.24	485,989.63
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C I T Y O F P A R K V I L L E
REVENUE AND EXPENSE REPORT
AS OF: JUNE 30TH, 2016

30 -Sewer Service Fund
ADMINISTRATIVE
EXPENDITURES

50.00% OF FISCAL YEAR COMPLETED

	ANNUAL BUDGET	PERIOD TO DATE ACTUAL	YEAR TO DATE ACTUAL	% USED	BUDGET BALANCE	PRIOR FY YEAR TO DATE
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PERSONNEL

30-501.01-01-00 Salaries	13,824	1,239.29	7,375.48	53.35	6,448.52	4,030.41
30-501.01-21-00 FICA & Medicare	1,058	94.24	629.62	59.51	428.38	324.74
30-501.01-22-00 Retirement	816	0.00	0.00	0.00	816.00	0.00
TOTAL PERSONNEL	15,698	1,333.53	8,005.10	50.99	7,692.90	4,355.15

INSURANCE

30-501.02-01-00 Hazard & Liability	2,850	1,532.91	1,532.91	53.79	1,317.09	2,689.32
30-501.02-02-00 Health	2,955	262.54	1,631.34	55.21	1,323.66	239.66
30-501.02-03-00 Workers Comp	500	(47.45)	(47.45)	9.49	547.45	0.00
30-501.02-04-00 Unemployment Fund	500	0.00	0.00	0.00	500.00	0.00
TOTAL INSURANCE	6,805	1,748.00	3,116.80	45.80	3,688.20	2,928.98

UTILITIES

30-501.03-01-00 Telephone & Voicemail	1,600	125.91	661.38	41.34	938.62	1,320.02
30-501.03-02-00 Electricity	46,000	4,236.29	17,877.65	38.86	28,122.35	18,032.68
30-501.03-04-00 Water	3,500	68.29	2,167.06	61.92	1,332.94	725.24
30-501.03-06-00 Wi-Fi	480	39.99	199.95	41.66	280.05	199.95
30-501.03-09-00 Trash Hauling	600	0.00	178.71	29.79	421.29	213.26
TOTAL UTILITIES	52,180	4,470.48	21,084.75	40.41	31,095.25	20,491.15

CAPITAL EXPENDITURES

30-501.04-31-00 Equipment & Machinery	10,000	0.00	0.00	0.00	10,000.00	0.00
30-501.04-51-00 Facility Improvements	147,000	2,600.00	2,600.00	1.77	144,400.00	787.50
30-501.04-61-00 Pump Station Improvement	34,000	0.00	8,951.50	26.33	25,048.50	49,016.54
TOTAL CAPITAL EXPENDITURES	191,000	2,600.00	11,551.50	6.05	179,448.50	49,804.04

OTHER PURCHASES

30-501.05-01-00 Office Supplies	150	0.00	239.46	159.64	(89.46)	0.00
30-501.05-02-00 Postage	7,000	3.72	3,034.84	43.35	3,965.16	3,251.33
30-501.05-04-00 Printing	1,300	0.00	0.00	0.00	1,300.00	0.00
30-501.05-06-00 Delinquencies	2,000	85.50	623.10	31.16	1,376.90	0.00
TOTAL OTHER PURCHASES	10,450	89.22	3,897.40	37.30	6,552.60	3,251.33

MAINTENANCE

30-501.06-01-00 Building Main & Repair	12,000	2,475.00	34,279.31	285.66	(22,279.31)	4,385.98
30-501.06-12-00 Pump Stations Maintenanc	20,000	495.00	5,846.08	29.23	14,153.92	5,896.54
30-501.06-21-00 Vehicle Repair & Mainten	500	0.00	1,389.60	277.92	(889.60)	0.00
30-501.06-21-02 Tractor/Lawn Mowing Equi	1,000	0.00	0.00	0.00	1,000.00	161.27
30-501.06-22-00 Vehicle Gas & Oil	3,000	0.00	308.74	10.29	2,691.26	391.00
30-501.06-22-01 Equipment Gas & Oil	1,500	0.00	0.00	0.00	1,500.00	0.00
30-501.06-33-00 Software Support Agreeeme	2,000	875.00	875.00	43.75	1,125.00	0.00
30-501.06-42-00 Line Maintenance	543,500	16,027.50	221,540.83	40.76	321,959.17	114,860.40
30-501.06-99-00 Other Maintenance	0	0.00	0.00	0.00	0.00	48,703.50
TOTAL MAINTENANCE	583,500	19,872.50	264,239.56	45.29	319,260.44	174,398.69

CITY OF PARKVILLE
REVENUE AND EXPENSE REPORT
AS OF: JUNE 30TH, 2016

30 -Sewer Service Fund
ADMINISTRATIVE
EXPENDITURES

50.00% OF FISCAL YEAR COMPLETED

	ANNUAL BUDGET	PERIOD TO DATE ACTUAL	YEAR TO DATE ACTUAL	% USED	BUDGET BALANCE	PRIOR FY YEAR TO DATE
<u>CITY SERVICES</u>						
30-501.07-34-00 Line Repairs	20,000	0.00	9,047.00	45.24	10,953.00	5,115.00
30-501.07-42-00 One Call Utility Locatin	2,000	0.00	403.39	20.17	1,596.61	1,300.18
30-501.07-82-00 KC Water Depart	26,000	0.00	6,397.91	24.61	19,602.09	15,986.86
30-501.07-83-00 Platte Co Regional Sewer	16,000	0.00	3,961.43	24.76	12,038.57	0.00
30-501.07-91-00 Odor Control	22,000	0.00	10,916.41	49.62	11,083.59	0.00
TOTAL CITY SERVICES	86,000	0.00	30,726.14	35.73	55,273.86	22,402.04
<u>PROFESSIONAL FEES</u>						
30-501.08-01-00 Attorney Fees	2,500	0.00	0.00	0.00	2,500.00	0.00
30-501.08-03-00 Engineering Fees	10,000	600.00	3,862.33	38.62	6,137.67	150.00
30-501.08-04-00 Management Contract	290,483	0.00	121,034.60	41.67	169,448.40	117,602.10
30-501.08-05-00 Sewer Deposit refunds	0	0.00	91.60	0.00	(91.60)	0.00
30-501.08-06-00 Administration Fee	103,530	8,627.50	51,765.00	50.00	51,765.00	50,750.00
30-501.08-07-00 Credit Card Fees	2,000	403.92	1,993.60	99.68	6.40	1,301.41
30-501.08-08-00 Sewer Billing Refunds	0	11.18	419.86	0.00	(419.86)	0.00
TOTAL PROFESSIONAL FEES	408,513	9,642.60	179,166.99	43.86	229,346.01	169,803.51
<u>OTHER EXPENDITURES</u>						
30-501.09-21-00 Miscellaneous	2,000	5.00	368.78	18.44	1,631.22	427.39
30-501.09-22-00 DNR Fees	2,000	0.00	0.00	0.00	2,000.00	0.00
TOTAL OTHER EXPENDITURES	4,000	5.00	368.78	9.22	3,631.22	427.39
<u>BOND/LEASE PAYMENTS</u>						
<u>SYSTEM RENEWAL PROJECT</u>						
30-501.12-11-00 SRF Principal-Transfer t	150,000	12,500.00	62,500.00	41.67	87,500.00	72,499.98
30-501.12-11-01 SRF Interest-Transfer to	26,975	2,245.37	11,226.85	41.62	15,748.15	15,114.89
30-501.12-11-02 SRF Admin Fee-Transfer t	8,520	0.00	0.00	0.00	8,520.00	16,952.31
TOTAL SYSTEM RENEWAL PROJECT	185,495	14,745.37	73,726.85	39.75	111,768.15	104,567.18
<u>TRANSFERS-OTHER SOURCES</u>						
30-501.20-02-02 Trans to Debt Serv (for	0	0.00	0.00	0.00	0.00	151,063.33
TOTAL TRANSFERS-OTHER SOURCES	0	0.00	0.00	0.00	0.00	151,063.33
TOTAL ADMINISTRATIVE	1,543,641	54,506.70	595,883.87	38.60	947,757.13	703,492.79
TOTAL EXPENDITURES	1,543,641	54,506.70	595,883.87	38.60	947,757.13	703,492.79
=====						
EXCESS REVENUES OVER/(UNDER) EXPENDITURE(	263,506)	20,968.73	(88,428.11)		0.00	(217,503.16)

Transportation Fund (40)

Last Updated 07/14/2016

	2012	2013	2014	2015	2015	2016	2016	2016	2017	2018	2019	2020	2021
	Actual	Actual	Actual	Budget	Actual	Budget	YTD	Projected	Projected	Projected	Projected	Projected	Projected
<i>Beginning Fund Balance</i>	\$ 89,288	\$ 190,187	\$ 162,682	\$ 318,954	\$ 327,997	\$ 217,699	\$ 231,767	\$ 231,767	\$ 60,646	\$ 44,618	\$ 62,359	\$ 68,493	\$ 73,573
Revenues													
Parkville Special Road District	120,346	122,341	124,328	126,000	128,588	132,000	132,218	132,218	133,980	135,990	138,030	138,030	140,100
City Transportation Sales Tax	380,193	398,083	438,160	435,000	456,397	456,000	239,628	456,000	462,840	469,783	476,829	476,829	483,982
Motor Fuel Tax	141,412	140,867	143,352	141,000	146,671	144,000	71,056	144,000	146,160	148,352	150,578	150,578	152,836
County Transportation Sales Tax	137,379	134,865	178,948	170,000	194,587	190,000	-	190,000	192,850	195,743	198,679	198,679	201,659
Project Cost Share		-	18,125	-	2,300	5,325	-	13,383	5,432	5,540	5,651	5,651	5,764
Sale of Equipment			8,275	11,500	11,075	7,500	-	7,500	25,500	5,000	5,000	5,000	5,000
Refunds	80,250		-	-									
MPR Safety Funds			4,300	-									
Leased Properties	6,470	900	-	-		-	-		-	-	-	-	-
Transportation Fund Revenues:	866,050	797,056	915,488	883,500	939,617	934,825	442,902	943,101	966,762	960,408	974,766	974,766	989,341
Total Sources:	955,338	987,243	1,078,170	1,202,454	1,267,614	1,152,524	674,669	1,174,868	1,027,408	1,005,026	1,037,125	1,043,260	1,062,914
Expenditures													
Streets - Capital	196,151	88,560	81,966	502,500	455,696	488,000	255,762	537,257	356,000	315,000	340,000	340,000	340,000
Streets - Operating		-	313,207	353,000	335,150	386,000	141,728	388,365	391,790	397,667	403,632	409,686	415,832
Transfers	569,000	736,000	355,000	245,000	245,000	240,000	100,000	188,600	235,000	230,000	225,000	220,000	215,000
Transportation Fund Expenditures:	765,151	824,560	750,173	1,100,500	1,035,846	1,114,000	497,490	1,114,222	982,790	942,667	968,632	969,686	970,832
Estimated Ending Balance (deficit):	190,187	162,682	327,997	101,954	231,767	38,524	177,180	60,646	44,618	62,359	68,493	73,573	92,083

CITY OF PARKVILLE
 REVENUE AND EXPENSE REPORT
 AS OF: JUNE 30TH, 2016

40 -Transportation Fund
 FINANCIAL SUMMARY

50.00% OF FISCAL YEAR COMPLETED

	ANNUAL BUDGET	PERIOD TO DATE ACTUAL	YEAR TO DATE ACTUAL	% USED	BUDGET BALANCE	PRIOR FY YEAR TO DATE
<u>REVENUE SUMMARY</u>						
TAXES	132,000	0.00	132,218.13	100.17 (	218.13)	126,527.83
SALES TAXES	790,000	59,127.24	310,683.64	39.33	479,316.36	295,568.69
OTHER REVENUE	5,325	0.00	0.00	0.00	5,325.00	0.00
MISCELLANEOUS REVENUE	<u>7,500</u>	<u>0.00</u>	<u>0.00</u>	<u>0.00</u>	<u>7,500.00</u>	<u>0.00</u>
TOTAL REVENUES	934,825	59,127.24	442,901.77	47.38	491,923.23	422,096.52
=====						
<u>EXPENDITURE SUMMARY</u>						
STREET DEPARTMENT	874,000	209,959.39	397,489.51	45.48	476,510.49	409,360.74
TRANSFERS	<u>240,000</u>	<u>20,000.00</u>	<u>120,000.00</u>	<u>50.00</u>	<u>120,000.00</u>	<u>122,500.00</u>
TOTAL EXPENDITURES	1,114,000	229,959.39	517,489.51	46.45	596,510.49	531,860.74
=====						
EXCESS REVENUES OVER/ (UNDER) EXPENDITURE(	179,175)	(170,832.15)	(74,587.74)	(	104,587.26)	(109,764.22)

CITY OF PARKVILLE
 REVENUE AND EXPENSE REPORT
 AS OF: JUNE 30TH, 2016

40 -Transportation Fund

FINANCIAL SUMMARY

50.00% OF FISCAL YEAR COMPLETED

REVENUES

	ANNUAL BUDGET	PERIOD TO DATE ACTUAL	YEAR TO DATE ACTUAL	% USED	BUDGET BALANCE	PRIOR FY YEAR TO DATE
<u>TAXES</u>						
40-41006-00 Parkville Special Rd Distric	132,000	0.00	132,218.13	100.17	(218.13)	126,527.83
TOTAL TAXES	132,000	0.00	132,218.13	100.17	(218.13)	126,527.83
<u>SALES TAXES</u>						
40-41404-00 City Transportation Sales Ta	456,000	46,838.28	239,628.08	52.55	216,371.92	223,702.23
40-41405-00 Motor Fuel Tax	144,000	12,288.96	71,055.56	49.34	72,944.44	71,866.46
40-41406-00 County Trans Sales Tax	190,000	0.00	0.00	0.00	190,000.00	0.00
TOTAL SALES TAXES	790,000	59,127.24	310,683.64	39.33	479,316.36	295,568.69
<u>OTHER REVENUE</u>						
40-41504-00 Curb/Sidewalk Cost Share	5,325	0.00	0.00	0.00	5,325.00	0.00
TOTAL OTHER REVENUE	5,325	0.00	0.00	0.00	5,325.00	0.00
<u>INTEREST INCOME</u>						
<u>MISCELLANEOUS REVENUE</u>						
40-41805-00 Sale of Transportation Equip	7,500	0.00	0.00	0.00	7,500.00	0.00
TOTAL MISCELLANEOUS REVENUE	7,500	0.00	0.00	0.00	7,500.00	0.00
<u>TRANSFERS IN</u>						
<u>TRANSFERS</u>						
TOTAL REVENUE	934,825	59,127.24	442,901.77	47.38	491,923.23	422,096.52

CITY OF PARKVILLE
REVENUE AND EXPENSE REPORT
AS OF: JUNE 30TH, 2016

40 -Transportation Fund
ADMINISTRATION
EXPENDITURES

50.00% OF FISCAL YEAR COMPLETED

ANNUAL BUDGET	PERIOD TO DATE ACTUAL	YEAR TO DATE ACTUAL	% USED	BUDGET BALANCE	PRIOR FY YEAR TO DATE
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INSURANCE

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CAPITAL EXPENDITURES

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CITY OF PARKVILLE
REVENUE AND EXPENSE REPORT
AS OF: JUNE 30TH, 2016

40 -Transportation Fund
STREET DEPARTMENT
EXPENDITURES

50.00% OF FISCAL YEAR COMPLETED

	ANNUAL BUDGET	PERIOD TO DATE ACTUAL	YEAR TO DATE ACTUAL	% USED	BUDGET BALANCE	PRIOR FY YEAR TO DATE
CAPITAL EXPENDITURES						
40-520.04-81-00 Crack Seal Project	15,000	0.00	0.00	0.00	15,000.00	0.00
40-520.04-83-00 Street Striping	20,000	0.00	0.00	0.00	20,000.00	0.00
40-520.04-85-00 Asphalt Overlay Program	225,000	149,225.05	149,225.05	66.32	75,774.95	138,853.10
40-520.04-85-01 Equipment	128,000	0.00	28,351.72	22.15	99,648.28	51,479.52
40-520.04-90-00 Curb & Sidewalk Program	100,000	37,145.00	78,185.00	78.19	21,815.00	84,770.00
TOTAL CAPITAL EXPENDITURES	488,000	186,370.05	255,761.77	52.41	232,238.23	275,102.62
MAINTENANCE						
40-520.06-01-00 Building Maintenance & R	5,000	174.35	346.64	6.93	4,653.36	593.67
40-520.06-21-00 Vehicle & Equipment Main	10,500	120.06	3,318.50	31.60	7,181.50	4,241.48
40-520.06-22-00 Vehicle & Equipment Gas	25,500	0.00	4,243.22	16.64	21,256.78	7,438.13
TOTAL MAINTENANCE	41,000	294.41	7,908.36	19.29	33,091.64	12,273.28
CITY SERVICES						
40-520.07-20-00 Emergency Snow Removal	40,000	0.00	14,482.23	36.21	25,517.77	18,991.44
40-520.07-32-00 Storm Sewers - General R	2,500	1,412.50	1,877.98	75.12	622.02	18.76
40-520.07-33-00 Street Repair Materials	15,000	908.42	2,659.81	17.73	12,340.19	3,246.61
40-520.07-41-00 Street Lights - Electric	260,000	20,974.01	108,261.97	41.64	151,738.03	91,949.47
40-520.07-44-00 Street Signs	2,500	0.00	193.64	7.75	2,306.36	578.56
40-520.07-45-00 Street Sweeping	15,000	0.00	6,343.75	42.29	8,656.25	7,200.00
40-520.07-52-00 Tree Trimming & Removal	6,000	0.00	0.00	0.00	6,000.00	0.00
40-520.07-60-00 Rental Equipment	3,000	0.00	0.00	0.00	3,000.00	0.00
TOTAL CITY SERVICES	344,000	23,294.93	133,819.38	38.90	210,180.62	121,984.84
OTHER EXPENDITURES						
40-520.09-21-00 Miscellaneous	1,000	0.00	0.00	0.00	1,000.00	0.00
TOTAL OTHER EXPENDITURES	1,000	0.00	0.00	0.00	1,000.00	0.00
TOTAL STREET DEPARTMENT	874,000	209,959.39	397,489.51	45.48	476,510.49	409,360.74

CITY OF PARKVILLE
 REVENUE AND EXPENSE REPORT
 AS OF: JUNE 30TH, 2016

40 -Transportation Fund

EXPENDITURES	50.00% OF FISCAL YEAR COMPLETED					
	ANNUAL BUDGET	PERIOD TO DATE ACTUAL	YEAR TO DATE ACTUAL	% USED	BUDGET BALANCE	PRIOR FY YEAR TO DATE
<u>TRANSFERS-OTHER SOURCES</u>						
40-550.20-10-00 Transfer to General Fund	240,000	20,000.00	120,000.00	50.00	120,000.00	122,500.00
TOTAL TRANSFERS-OTHER SOURCES	<u>240,000</u>	<u>20,000.00</u>	<u>120,000.00</u>	<u>50.00</u>	<u>120,000.00</u>	<u>122,500.00</u>
TOTAL TRANSFERS	240,000	20,000.00	120,000.00	50.00	120,000.00	122,500.00
TOTAL EXPENDITURES	1,114,000	229,959.39	517,489.51	46.45	596,510.49	531,860.74
EXCESS REVENUES OVER/(UNDER) EXPENDITURE(	179,175)	(170,832.15)	(74,587.74)		0.00	(109,764.22)

BALANCE SHEET

AS OF: JUNE 30TH, 2016

10 -General Fund

ACCOUNT# TITLE

ASSETS

10901 Petty Cash (Admin)	181.31
10911 Petty Cash (Court)	150.00
10952 Court Bnk Acct-Internet Pymts	100.00
12000 General Fund Claim on Cash	1,952,602.16
15000 Receivables - General	(34.00)
15004 Franchise Tax Receivables	97,867.82
15005 Vehicle Tax Receivable	1,277.23
15006 Sales Tax Receivables	180,837.70
15007 Motor Vehicle Tax Receivables	6,274.44
18000 Prepaid Insurance	153,498.98
	<hr/>
	2,392,755.64

TOTAL ASSETS

2,392,755.64

LIABILITIES

20021 AFLAC W/H	(323.78)
20022 Medical Ins W/H	(5,812.55)
20023 Dental W/H	(429.84)
20025 Principal W/H	66.47
20028 Vision Care Withholding	(145.84)
20031 Retirement W/H ING	150.00
20041 KC Earning Tax W/H	4,693.62
20051 Garnishment W/H	(70.62)
20070 Vol. Employee Fund W/H	(64.88)
21000 Deferred Revenue	1,277.23
22001 AP Pending (Due to Pooled)	48,235.19
22500 Telecom Escrow	190.29
22501 FLEX Plan Payable	4,035.55
22600 COBRA Liability	1,539.59
	<hr/>
TOTAL LIABILITIES	53,340.43

EQUITY

30001 Fund Balance	1,739,311.75
	<hr/>
TOTAL BEGINNING EQUITY	1,739,311.75
	<hr/>
TOTAL REVENUE	2,531,365.82
TOTAL EXPENSES	1,931,262.36
	<hr/>
TOTAL SURPLUS/(DEFICIT)	600,103.46
	<hr/>
TOTAL EQUITY & SURPLUS/(DEFICIT)	2,339,415.21
	<hr/>
TOTAL LIABILITIES, EQUITY & SURPLUS/DEFICIT	2,392,755.64

BALANCE SHEET

AS OF: JUNE 30TH, 2016

21 -River Park Bond Retirement

ACCOUNT# TITLE

ASSETS

=====

11002 River Prk Dev Bank Acc*	170,727.26	
15001 Receivables - Current	5,167.60	
15003 LT Receivables	1,048,308.15	
		<u>1,224,203.01</u>

TOTAL ASSETS		<u>1,224,203.01</u>
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LIABILITIES

=====

21000 Deferred Revenue-Current	5,167.60	
21001 LT Deferred Revenue	1,048,308.15	
		<u>1,053,475.75</u>

EQUITY

=====

30001 FUND BALANCE	152,071.27	
		<u>152,071.27</u>
TOTAL BEGINNING EQUITY	152,071.27	
TOTAL REVENUE	320,580.99	
TOTAL EXPENSES	301,925.00	
		<u>18,655.99</u>
TOTAL SURPLUS/(DEFICIT)	18,655.99	
TOTAL EQUITY & SURPLUS/(DEFICIT)		<u>170,727.26</u>

TOTAL LIABILITIES, EQUITY & SURPLUS/DEFICIT		<u>1,224,203.01</u>
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BALANCE SHEET

AS OF: JUNE 30TH, 2016

22 -Capital Project Bonds

ACCOUNT# TITLE

ASSETS

=====

11002 Cash	16,030.25	
12000 Claim on Cash	75,274.33	
14010 Lease Revenue Fund	0.48	
14012 Reserve Fund	0.03	
		<u>91,305.09</u>

TOTAL ASSETS 91,305.09

=====

LIABILITIES

=====

EQUITY

=====

30001 Fund Balance	(244,067.14)	
		<u>(244,067.14)</u>
TOTAL BEGINNING EQUITY	(244,067.14)	
TOTAL REVENUE	336,472.23	
TOTAL EXPENSES	1,100.00	
		<u>335,372.23</u>
TOTAL SURPLUS/(DEFICIT)	335,372.23	
TOTAL EQUITY & SURPLUS/(DEFICIT)		<u>91,305.09</u>

TOTAL LIABILITIES, EQUITY & SURPLUS/DEFICIT 91,305.09

=====

BALANCE SHEET

AS OF: JUNE 30TH, 2016

23 -Brush Creek NID

ACCOUNT# TITLE

ASSETS

=====

12000 Claim on Cash	186,196.10
14011 Debt Service Fund	2,439.70
14012 Debt Service Reserve Fund	399,768.37
15001 Receivables	137,545.83
15002 Receivables-Current	(250,556.50)
15003 LT Receivables	4,976,775.00
	<hr/>
	5,452,168.50

TOTAL ASSETS 5,452,168.50

LIABILITIES

=====

21000 Deferred Revenue	(113,010.67)
21001 LT Deferred Revenue	4,976,775.00
	<hr/>
TOTAL LIABILITIES	4,863,764.33

EQUITY

=====

30001 Fund Balance	412,579.58
30002 Fund Balance-Maintenance Fund	7,599.82
	<hr/>
TOTAL BEGINNING EQUITY	420,179.40

TOTAL REVENUE	257,348.08
TOTAL EXPENSES	93,543.75
	<hr/>

TOTAL SURPLUS/(DEFICIT) 163,804.33

TOTAL EQUITY & SURPLUS/(DEFICIT) 583,983.73

TOTAL LIABILITIES, EQUITY & SURPLUS/DEFICIT 5,447,748.06

*** AMOUNT OUT OF BALANCE *** 4,420.44

BALANCE SHEET

AS OF: JUNE 30TH, 2016

30 -Sewer Service Fund

ACCOUNT# TITLE

ASSETS

11002 Sewer	ash in Bank-	3,010.92	
11003 Cash		37,045.64	
11005 MM Bank Lib		209,758.21	
12000 Sewer Service Claim on Cash		397,302.57	
15000 Receivables		161,374.05	
17001 Property, Plant, Equipment		5,253,934.00	
17002 Land		59,975.00	
17003 Infrastructure		2,384,899.00	
17005 Accumulated Depreciation	(	4,413,384.00)	
17014 Equipment		263,593.00	
18000 Prepaid Insurance		1,838.83	
			4,359,347.22

TOTAL ASSETS 4,359,347.22

LIABILITIES

20070 Vol. Employee Fund	14.30	
22001 AP Pending (Due to Pooled)	4,858.77	
26000 Customer Deposits	13,485.00	
		18,358.07

TOTAL LIABILITIES 18,358.07

EQUITY

30001 Fund Balance	4,429,417.26	
		4,429,417.26
TOTAL BEGINNING EQUITY		4,429,417.26
TOTAL REVENUE	507,455.76	
TOTAL EXPENSES	595,883.87	
TOTAL SURPLUS/(DEFICIT)	(	88,428.11)
TOTAL EQUITY & SURPLUS/(DEFICIT)		4,340,989.15

TOTAL EQUITY & SURPLUS/(DEFICIT) 4,340,989.15

TOTAL LIABILITIES, EQUITY & SURPLUS/DEFICIT 4,359,347.22

34 -SRF Fund

ACCOUNT#	TITLE		
ASSETS			
=====			
12005 UMB Principal Payments Res Acc		75,014.00	
12006 UMB SRF Interest Payment Res A		13,488.83	
			<u>88,502.83</u>
TOTAL ASSETS			<u>88,502.83</u>
			=====
LIABILITIES			
=====			
24000 Long-Term Bonds Payable		1,310,000.00	
24001 Bond Issue Premium		63,351.00	
			<u>1,373,351.00</u>
TOTAL LIABILITIES			<u>1,373,351.00</u>
EQUITY			
=====			
30001 Fund Balance		(1,380,110.89)	
			<u>(1,380,110.89)</u>
TOTAL BEGINNING EQUITY			<u>(1,380,110.89)</u>
TOTAL REVENUE		95,262.72	
			<u>95,262.72</u>
TOTAL SURPLUS/(DEFICIT)			<u>95,262.72</u>
TOTAL EQUITY & SURPLUS/(DEFICIT)			<u>(1,284,848.17)</u>
TOTAL LIABILITIES, EQUITY & SURPLUS/DEFICIT			<u>88,502.83</u>
			=====

BALANCE SHEET

AS OF: JUNE 30TH, 2016

40 -Transportation Fund

ACCOUNT# TITLE

ASSETS

12000 Claim on Cash	148,168.68	
15000 Receivables - General	10,885.46	
15001 Receivable Held in Escrow Acct	8,883.40	
15004 Receivables-Sales Tax	88,393.46	
		<u>256,331.00</u>

TOTAL ASSETS		<u>256,331.00</u>
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LIABILITIES

22001 A/P Pending (Due to Pooled)	1,987.77	
22500 Liability in Held in Escrow Ac	8,883.40	
		<u>10,871.17</u>

EQUITY

30001 Fund Balance	320,047.57	
		<u>320,047.57</u>

TOTAL BEGINNING EQUITY		<u>320,047.57</u>
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TOTAL REVENUE	442,901.77	
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TOTAL EXPENSES	517,489.51	
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TOTAL SURPLUS/(DEFICIT)	(74,587.74)	
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TOTAL EQUITY & SURPLUS/(DEFICIT)		<u>245,459.83</u>
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TOTAL LIABILITIES, EQUITY & SURPLUS/DEFICIT		<u>256,331.00</u>
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C I T Y O F P A R K V I L L E
RESERVED FUND SUMMARY
AS OF: JUNE 30TH, 2016

	This Month		Cumulative		Fund Balance
	Income	Expenses	Income	Expenses	
45 -Fewson Project Fund	415.39	9.00	2,727.38	47.50	569,677.68
46 -Guest Room Tax Fund	0.00	0.00	470.54	1,000.00	351.95
50 -Emergency Reserve Fund	26,458.35	0.00	174,114.00	0.00	1,622,079.61
60 -Nature Sanctuary Fund	100.00	0.00	9,104.28	0.00	43,812.25
63 -Park Donations	43.30	0.00	93.73	8,056.64	17,240.69
80 -Court Reconpmnt Fees	550.50	0.00	1,000.70	0.00	39,930.09
81 -Police Training Fees-LET	(290.48)	0.00	(637.48)	0.00	40,824.40
91 -TIF Development Fund	49,242.67	0.00	95,872.84	0.00	108,316.51
95 -Capital Projects Fund	10,000.00	43,881.40	116,071.80	204,385.80	(31,569.53)
TOTAL	86,519.73	43,890.40	398,817.79	213,489.94	2,410,663.65

*** END OF REPORT ***

City of Parkville
Cash & Investments Balance Report
As of June 30, 2016

General Fund #10

Cash on Hand	181.31	
Total Cash Accounts*	1,904,466.97	
Fund Cash & Investments Total		<u><u>\$1,904,648.28</u></u>

Transportation Fund #40

Total Cash Accounts*	146,180.91	
Fund Cash & Investments Total		<u><u>\$146,180.91</u></u>

River Park Bond Retirement Fund #21

Total Cash Accounts*	170,727.26	
Fund Cash & Investments Total		<u><u>\$170,727.26</u></u>

Emergency Reserve Fund #50

Total Cash Accounts*	1,369,961.92	
Fund Cash & Investments Total		<u><u>\$1,369,961.92</u></u>

Capital Project Bonds Fund #22

Total Cash Accounts*	91,304.58	
Reserve Fund Account	0.51	
Fund Cash & Investments Total		<u><u>\$91,305.09</u></u>

TIF Development Fund #91

Total Cash Accounts*	108,316.51	
Fund Cash & Investments Total		<u><u>\$108,316.51</u></u>

Brush Creek NID Fund #23

Total Cash Accounts*	188,635.80	
Reserve Fund Account	399,768.37	
Fund Cash & Investments Total		<u><u>\$588,404.17</u></u>

Parkville Market Place Fund #92

Total Cash Account	9,420.65	
Fund Cash & Investments Total		<u><u>\$9,420.65</u></u>

Brink Meyer Road NID Fund #24

Total Cash Accounts*	291,415.32	
Reserve Fund Account	1,782.82	
Fund Cash & Investments Total		<u><u>\$293,198.14</u></u>

Capital Projects Fund #95

Total Cash Accounts*	-31,569.53	
Fund Cash & Investments Total		<u><u>-\$31,569.53</u></u>

Sewer Service Fund #30

Total Cash Accounts*	642,258.57	
Fund Cash & Investments Total		<u><u>\$642,258.57</u></u>

* Net of the amount owed (if any) to or from Pooled Cash Bank Account

1 CLASSIFICATION OF OFFENSES	2 OFFENSES REPORTED OR KNOWN TO POLICE (INCLUDING "UNFOUNDED" AND ATTEMPTS)	3 UNFOUNDED, I.E., FALSE OR BASELESS COMPLAINTS	4 NUMBER OF ACTUAL OFFENSES (COLUMN 2 MINUS COLUMN 3) (INCLUDE ATTEMPTS)	5 TOTAL OFFENSES CLEARED BY ARREST OR EXCEPTIONAL MEANS (INCLUDES COL. 8)	6 NUMBER OF CLEARANCES INVOLVING ONLY PERSONS UNDER 18 YEARS OF AGE
1. CRIMINAL HOMICIDE					
a. MURDER AND NONNEGLIGENT HOMICIDE (score attempt as aggravated assault if homicide reported, submit Supplemental Homicide Report)	11			00	
b. MANSLAUGHTER BY NEGLIGENCE	12			00	
2. FORCIBLE RAPE TOTAL	20			01	
a. Rape by Force	21				
b. Attempts to commit Forcible Rape	22				
3. ROBBERY TOTAL	30			01	
a. Firearm	31				
b. Knife or Cutting Instrument	32				
c. Other Dangerous Weapon	33				
d. Strong-Arm (Hands, Fists, Feet, Etc.)	34				
4. ASSAULT TOTAL	40	16		16	11
a. Firearm	41				
b. Knife or Cutting Instrument	42				
c. Other Dangerous Weapon	43				
d. Hands, Fists, Feet, Etc. - Aggravated Injury	44	5		5	4
e. Other Assaults - Simple, Not Aggravated	45	11		11	11
5. BURGLARY TOTAL	50	7		7	3
a. Forcible Entry	51	5		5	
b. Unlawful Entry - No Force	52	2		2	1
c. Attempted Forcible Entry	53				
6. LARCENY - THEFT TOTAL (Except Motor Vehicle Theft)	60	30		30	34
7. MOTOR VEHICLE THEFT TOTAL	70	3		3	2
a. Autos	71	1		1	1
b. Trucks and Buses	72	1		1	1
c. Other Vehicles	73	1		1	
GRAND TOTAL	77	56		56	50

Prior 3 yrs.
Average

January 2016

Month and Year of Report

thru
May 31, 2016

Parkville, Missouri PD

Agency and State

Mo0830100

Agency Identifier

5700.00

Population

July 11, 2016

Date

Craig Hubbell

Detective Sergeant

Prepared By

Chief K.L. Chrisman

Title

Chief, Commissioner, Sheriff, or Superintendent

PROPERTY STOLEN BY CLASSIFICATION

CLASSIFICATION		NUMBER OF ACTUAL OFFENSES (COLUMN 4 Return A)	Monetary Value of Property Stolen
1. MURDER AND NONNEGLIGENT MANSLAUGHTER	12		
2. FORCIBLE RAPE	20		
3. ROBBERY			
(a) HIGHWAY (Streets, alleys, etc.)	31		
(b) COMMERCIAL HOUSE (except c, d and f)	32		
(c) GAS OR SERVICE STATION	33		
(d) CONVENIENCE STORE	34		
(e) RESIDENCE (anywhere on premises)	35		
(f) BANK	36		
(g) MISCELLANEOUS	37		
TOTAL ROBBERY	30		
5. BURGLARY - BREAKING AND ENTERING			
(a) RESIDENCE (dwelling)			
(1) NIGHT (6 p.m. - 6 a.m.)	51		
(2) DAY (6 a.m. - 6 p.m.)	52	1	496
(3) UNKNOWN	53	2	19529
(b) NON-RESIDENCE (store, office, etc.)			
(1) NIGHT (6 p.m. - 6 a.m.)	54	3	1139
(2) DAY (6 a.m. - 6 p.m.)	55		
(3) UNKNOWN	56	1	2
TOTAL BURGLARY	50	7	21166
6. LARCENY - THEFT (Except Motor Vehicle Theft)			
(a) \$200 AND OVER	61	12	41855
(b) \$50 TO \$200	62	4	458
(c) UNDER \$50	63	14	242
TOTAL LARCENY (Same as Item 6X)	60	30	42555
7. MOTOR VEHICLE THEFT (Including Alleged Joy Riding)	70	3	3300
GRAND TOTAL - ALL ITEMS	77	40	67021
ADDITIONAL ANALYSIS OF LARCENY AND MOTOR VEHICLE THEFT			
6X. NATURE OF LARCENIES UNDER ITEM 6			
(a) POCKET-PICKING	81		
(b) PURSE SNATCHING	82		
(c) SHOPLIFTING	83	20	3558
(d) FROM MOTOR VEHICLE (except e)	84	5	3014
(e) MOTOR VEHICLE PARTS AND ACCESSORIES	85		
(f) BICYCLES	86	1	350
(g) FROM BUILDING (except c and h)	87	1	2
(h) FROM ANY COIN-OPERATED MACHINES (parking meters etc.)	88		
(i) ALL OTHERS	89	3	35631
TOTAL LARCENIES (Same as Item 6)	80	30	42555
7X. MOTOR VEHICLES RECOVERED			
(a) STOLEN LOCALLY AND RECOVERED LOCALLY	91	1	Prior 3yrs. Average
(b) STOLEN LOCALLY AND RECOVERED BY ANOTHER JURISDICTION	92		
(c) TOTAL LOCALLY STOLEN MOTOR VEHICLES RECOVERED (a & b)	90	1	
(d) STOLEN IN OTHER JURISDICTION AND RECOVERED LOCALLY	93		

January 1, 2016 thru May 31, 2016

CITY OF PARKVILLE

Policy Report

Date: July 12, 2016

Prepared By:
Alysen Abel
Public Works Director

Reviewed By:
Tim Blakeslee
Assistant to the City Administrator

ISSUE:

Approve a maintenance agreement with Arbor Masters for tree trimming on-call services

BACKGROUND:

There are numerous services that the Public Works staff needs on a routine and emergency basis throughout the year. Tree trimming and tree removal is one of the services that is utilized by Public Works throughout the year, for both emergency storm cleanup and routine tree maintenance. The intent is for the City to contract with one vendor that will provide priority services to the City during emergency and non-emergency situations.

In 2015, the Public Works staff released a bid request for on-call tree trimming and tree removal services. In July 2015, the Board approved a one-year maintenance agreement with Urban Tree Specialists. Over the past year, Urban Tree Specialists has assisted the City with removal of approximately \$30,000 of tree removal services.

On June 2, 2016, the City released a bid request for on-call tree trimming services. Three contractors responded to the bid request. The bid form requested unit prices for removal of trees based on their sizes. Other unit prices for labor and equipment were also requested in the bid form. The detailed bid tabulation is included in Attachment 1.

Attachment 2 includes a cost comparison of the three companies, using a hypothetical situation, using both the emergency and non-emergency pricing. Based on the non-emergency pricing, Arbor Masters was the lowest bidder. The City has used Arbor Masters in the past; the company provided adequate service. The company is located in Shawnee, KS and has one Certified Arborist on staff, but is not on every job site. In contrast, the current on-call provider, Urban Tree Specialists, has a Certified Arborist on every job site, though this was not a requirement in the bid documents. The bid request was for a two-year contract, but staff recommends contracting with Arbor Masters for a one-year term with an option for a one-year renewal. This will establish a one-year period to evaluate if Arbor Masters can meet service expectations rather than committing now for the full two-year term.

Based on the emergency pricing, Custom Tree Care was the lowest bidder. Custom Tree Care is headquartered in Topeka, Kansas. The company's service model involves subcontractors that serve over 90 separate contracts in 25 states. Arbor Masters is one of the subcontractors listed in Custom Tree Care's submittal. Staff received less than glowing recommendations from other communities that have used Custom Tree Care. References indicated that service was not consistent and the company was not very responsive. Historically, the majority of work authorized under the on-call contract has been for non-emergency work. Over the past year, the emergency costs represent only 16% of the total tree trimming costs. For these reasons, staff does not recommend contracting with Custom Tree Care.

BUDGET IMPACT:

There are tree trimming line items included in the General Fund (Parks and Nature Sanctuary divisions) and Transportation Fund. Depending on the nature of the work being done, staff will use the proper budget item.

ALTERNATIVES:

1. Approve a one-year maintenance agreement with an optional one-year renewal with Arbor Masters.
2. Provide other direction to staff to meet the desires of the Finance Committee.
3. Postpone the item.

STAFF RECOMMENDATION:

Staff recommends the approval of the maintenance agreement with Arbor Masters for tree trimming on-call services.

FINANCE COMMITTEE RECOMMENDATION:

At the meeting on July 11, 2016, the Finance Committee, by a vote of 4-0, recommended that the Board of Aldermen approve a one-year maintenance agreement with an optional one-year renewal with Arbor Masters for tree trimming on-call services.

POLICY:

The Purchasing Policy, Resolution No. 10-02-14, requires the Board of Aldermen to approve all purchases above \$10,000 upon recommendation of the Finance Committee.

SUGGESTED MOTION:

I move to approve a one-year maintenance agreement with an optional one-year renewal with Arbor Masters for tree trimming on-call services, with the unit prices listed in the agreement.

ATTACHMENTS:

1. Bid Tabulation
2. Sample Project Cost Comparison
3. Maintenance Agreement

TREE TRIMMING, TREE REMOVAL AND LANDSCAPE SVCS. - BID DATE - 06/30/2016 10:05 A.M.

ONE ADDENDUM ISSUED

	ARBOR MASTERS BIDDER 1 UNIT PRICE	URBAN TREE SPEC BIDDER 2 UNIT PRICE	CUSTOM TREE CARE BIDDER 3 UNIT PRICE	NO BID	NO BID
TREE REMOVAL-NON-EMERGENCY (INCLUDES LABOR AND EQUIPMENT)					
DBH 1-12	\$160.00	\$200.00	\$150.00		
DBH 13-24	\$325.00	\$425.00	\$425.00		
DBH 25-36	\$695.00	\$800.00	\$800.00		
DBH 37-48	\$1,100.00	\$1,500.00	\$1,275.00		
DBH 49-60	\$1,850.00	\$2,500.00	\$1,600.00		
Stump Removal per inch	\$95.00	\$100.00	\$4.75	PER INCH	
		or \$4.00	PER INCH		
TREE REMOVAL-EMERGENCY (INCLUDES LABOR AND EQUIPMENT)					
DBH 1-12	\$275.00	\$240.00	\$200.00		
DBH 13-24	\$575.00	\$510.00	\$500.00		
DBH 25-36	\$875.00	\$960.00	\$900.00		
DBH 37-48	\$1,500.00	\$1,800.00	\$1,475.00		
DBH 49-60	\$2,100.00	\$3,000.00	\$2,000.00		
Stump Removal per inch	\$150.00	\$100.00	\$5.75	PER INCH	
		or 4.00	PER Inch		
TREE PRUNING/TRIM-NON-EMERG (INCLUDES LABOR AND EQUIPMENT)					
Bucket Truck		\$55.00	\$35.00		
1-Person Crew	\$110.00	\$75.00	\$40.00		
2-Person Crew	\$160.00	\$140.00	\$80.00		
3-Person Crew	\$230.00	\$210.00	\$160.00		
4-Person Crew	\$315.00	\$275.00	\$240.00		
Chipper Unit	\$25.00	\$35.00	\$30.00		
TREE PRUNING/TRIM-EMERGENCY (INCLUDES LABOR AND EQUIPMENT)					
Bucket Truck		\$65.00	\$45.00		
1-Person Crew	\$135.00	\$90.00	\$50.00		
2-Person Crew	\$195.00	\$170.00	\$100.00		
3-Person Crew	\$265.00	\$250.00	\$190.00		
4-Person Crew	\$350.00	\$335.00	\$275.00		
Chipper Unit	\$50.00	\$45.00	\$40.00		

On-Call Tree Trimming Comparison

Non-Emergency				
Type of Removal	Quantity	Arbor Masters	Urban Tree Specialists	Custom Tree Care
DBH 1-12	6	\$ 160.00	\$ 200.00	\$ 150.00
DBH 13-24	8	\$ 325.00	\$ 425.00	\$ 425.00
DBH 25-36	3	\$ 695.00	\$ 800.00	\$ 800.00
DBH 37-48	2	\$ 1,100.00	\$ 1,500.00	\$ 1,275.00
DBH 49-60	1	\$ 1,850.00	\$ 2,500.00	\$ 1,600.00
2-person crew	8	\$ 160.00	\$ 140.00	\$ 80.00
Bucket Truck	8	\$ 40.00	\$ 55.00	\$ 35.00
Chipper Unit	8	\$ 25.00	\$ 35.00	\$ 30.00
Total		\$ 11,720.00	\$ 14,340.00	\$ 12,010.00

Emergency				
Type of Removal	Quantity	Arbor Masters	Urban Tree Specialists	Custom Tree Care
DBH 1-12	6	\$ 275.00	\$ 240.00	\$ 200.00
DBH 13-24	8	\$ 575.00	\$ 510.00	\$ 500.00
DBH 25-36	3	\$ 875.00	\$ 960.00	\$ 900.00
DBH 37-48	2	\$ 1,500.00	\$ 1,800.00	\$ 1,475.00
DBH 49-60	1	\$ 2,100.00	\$ 3,000.00	\$ 2,000.00
2-person crew	8	\$ 195.00	\$ 170.00	\$ 100.00
Bucket Truck	8	\$ 50.00	\$ 65.00	\$ 45.00
Chipper Unit	8	\$ 50.00	\$ 45.00	\$ 40.00
Total		\$ 16,630.00	\$ 17,240.00	\$ 14,330.00

SMALL CONSTRUCTION SERVICES AGREEMENT MAINTENANCE OR REPAIR PROJECT

THIS SERVICE AGREEMENT, entered into on this 19th day of July 2016, by and between the CITY OF PARKVILLE, MISSOURI ("City") and ARBOR MASTERS TREE & LANDSCAPE ("Contractor").

WHEREAS, the City seeks to hire Contractor to provide certain construction services as described in Exhibit "A" to this Agreement (the "Construction Services"); and

WHEREAS, the City has budgeted funds to acquire the services necessary to complete the Construction Services; and

WHEREAS, Contractor has the necessary staff and qualifications to provide the Construction Services to the City.

NOW THEREFORE, IN CONSIDERATION of the mutual covenants and agreements set forth herein, the parties mutually agree as follows:

I. SCOPE OF SERVICES

- A. The term "Construction Services" when used in this Agreement shall mean any and all labor, material, equipment, insurance, surety bonds or other thing of value that may be required by this Agreement including its exhibits.
- B. The City agrees to retain Contractor and Contractor agrees to perform and complete the Construction Services described in the **Exhibit "A"** – Scope of Work, attached hereto and incorporated by reference for a period of one (1) year from the date of this Agreement. After one year of service to the City, the City may choose to extend the service contract for an additional term of one (1) year, with the unit prices as outlined in Exhibit "A".
- C. Service Provider represents it has all necessary skills, personnel, financial capacity, licenses, permits, knowledge, and certifications required to perform the Services described herein.

II. COMPENSATION

- A. As consideration for providing the Construction Services, the City shall pay Contractor as set forth in **Exhibit "A"**.
- B. Contractor shall submit its invoices to the City either at completion of the Project, or on such milestone or other interim terms as set forth on **Exhibit "A"**. Contractor's final invoice shall be accompanied by Waivers of Lien and Releases of Claim on the forms attached as **Exhibit "B-2"** to this Agreement, executed by Contractor, any all subcontractors with contract values of \$5,000 or more, and notarized. If partial payments are authorized on **Exhibit "A"**, then Contractor shall submit partial lien waivers on the form attached as **Exhibit "B-1."** The City agrees to pay the balance of an approved invoice, or undisputed portions of a disputed invoice, within 30 days of the date of receipt by the City. In the event of a dispute, and prior to the invoice's due date, City shall pay the undisputed portion of the invoice and notify Contractor of the nature of the dispute regarding the balance.
- C. Contractor shall maintain accounts and records, including personnel, property, and financial records, adequate to identify and account for all costs pertaining to the Agreement and such other records as may be deemed necessary by the City to assure proper accounting for all funds. These records will be made available for audit purposes to the City or any authorized representative, and will be retained for three years after

the expiration of this Agreement unless permission to destroy them is granted by the City.

III. SCHEDULE

- A. Time is of the essence in performance of this Agreement.
- B. Unless otherwise directed by the City, Contractor shall commence performance of the Construction Services upon execution of this Agreement.
- C. Services shall be completed within the schedule set forth on **Exhibit "A"**.
- D. Neither the City nor the Contractor shall be in default of the Agreement for delays in performance caused by circumstances beyond the reasonable control of the non-performing party.
- E. If **Exhibit "A"** contains a provision for Liquidated Damages, it shall be because the parties have agreed that late completion of the Construction Services by Contractor would cause irreparable harm to the City, which harm is difficult to quantify; and that the parties have agreed that the amount stated in Exhibit "A" for Liquidated Damages is a fair approximation of the daily costs that the City would incur for late Substantial Completion of the work.

IV. CHANGES

- A. The City reserves the right to issue Changes, both additive and deductive, to the Scope of Work at the City's discretion. Contractor shall advise the City of additional costs and time delays, if any, resulting from such Changes, before Contractor performs the Changes. No adjustment to the Contract Time or Contract Price will be permitted unless Contractor has advised the City of the potential impact prior to commencing work on the Change, and the City either issues a Change Order which is agreed to by the parties, or the City directs the Contractor to proceed.
- B. Contractor shall provide Construction Services under this Agreement only upon written request of the City and only to the extent defined and required by the City. Any additional services or materials provided by the Contractor without the City's prior written consent shall be at the Contractor's own risk, cost, and expense, and Contractor shall not make a claim for compensation from the City for such work.

V. INDEMNIFICATION

- A. Contractor shall indemnify and hold harmless the City and its departments, elected officials, officers, employees and agents, from and against all liability, suits, actions, proceedings, judgments, claims, losses, damages, and injuries (including attorneys' fees and other expenses of litigation, arbitration, mediation or appeal), which in whole or in part arise out of or have been connected with Contractor's negligence, error, omission, recklessness, or wrongful or criminal conduct in the performance of Construction Services, including performance by Contractor's employees and agents; or arising from any claim for libel, slander, defamation, copyright infringement, invasion of privacy, piracy and/or plagiarism related to any materials related to materials furnished by Contractor in the course of performance of the work, except to the extent that such claims arise from materials created or supplied by the City.
- B. Contractor's obligation to indemnify and hold harmless shall remain in effect and shall be binding on Contractor whether such injury shall accrue, or may be discovered, before or after termination of this Agreement.

VI. INSURANCE

- A. Contractor shall secure and maintain, at its expense, through the duration of this Agreement insurance as set forth on **Exhibit "C."**

VII. ASSIGNMENT OF AND RESPONSIBILITY FOR PERSONNEL

- A. Contractor's assignment of personnel to perform the Services shall be subject to the City's oversight and general guidance. The City reserves the right to request qualifications and/or reject service from any and all employees of the Contractor.
- B. Unless otherwise stated in **Exhibit "A"**, Contractor shall be represented by a Superintendent or Foreman authorized to give and receive all instruction and notices from and to the City at all times while performing Construction Services, and shall have on site a person who is fluent in all languages necessary to communicate instructions regarding the work and information regarding medical emergencies with Contractor's employees and subcontractors.
- C. All of the Construction Services required hereunder will be performed by the Contractor or under Contractor's supervision, and all personnel engaged in the work shall be fully qualified and shall be authorized or permitted under State and Local law to perform such services.
- D. None of the work or services covered by this Agreement shall be subcontracted without the prior written approval of the City. Any work or services subcontracted hereunder shall be specified by written contract or agreement and shall be subject to each provision of this Agreement including, but not limited to, indemnification, insurance and warranties.
- E. Contractor and all subcontractors with a contract value of \$5,000 or more shall execute affidavits on the form attached as **Exhibit "D"**, attesting to their compliance with RSMo. § 285.530.5 concerning compliance with Missouri's Worker Eligibility requirements.
- F. Contractor and all subcontractors must require all on-site employees to complete the ten-hour construction training program required under Section 292.675 RSMo. unless they have previously completed the program and have documentation of having done so. Contractor shall execute the affidavit attached as **Exhibit "E"**, attesting that it has provided OSHA safety training for its on-site employees. Contractor will forfeit a penalty to the City of \$2,500 plus an additional \$100 for each employee employed by Contractor or any subcontractor, for each calendar day, or portion thereof, such employee is employed without the required training. See Section 292.675 RSMo.
- G. No illegal drug or alcohol usage will be tolerated at the Site. All persons admitted to work on the Site will dress appropriately and avoid foul language. Music shall not be played at volume levels that would be objectionable to third-parties. Any worker found by the City to be violating these conduct requirements will be removed immediately.

VIII. WARRANTY

- A. The Contractor warrants to the City that materials and equipment furnished under the Contract will be of good quality and new unless the Scope of Work documents require or permit otherwise. The Contractor further warrants that the work will conform to the requirements of the Scope of Work documents and will be free from defects, except for those inherent in the quality of the Work the Scope of Work documents require or permit. Work, materials, or equipment not conforming to these requirements may be considered defective. The Contractor's warranty excludes remedy for damage or defect caused by abuse, alterations to the work not executed by the Contractor or its subcontractors or suppliers, improper or insufficient maintenance or improper

operation. If required by the Owner, the Contractor shall furnish satisfactory evidence as to the kind and quality of materials and equipment. The Contractor's warranties required by the Agreement (express and implied) shall remain in full force and effect even if a material or equipment item is required by the Owner to be manufactured by a specific entity, and no other equivalent product manufactured by any other entity is acceptable.

- B. The Contractor's warranty in Section IX.A. shall not be construed to replace, change or otherwise limit any statutory or common law warranty rights of the Owner, or any other Contract requirements.

IX. OWNERSHIP OF WORK PRODUCT

Contractor agrees that any documents, materials and/or work products produced in whole or in part by or through it under this Agreement, any intellectual property rights of Contractor therein (collectively the "Works") are intended to be owned by the City. Accordingly, Contractor hereby assigns and agrees to assign to the City all of its right title and interest in and to such Works.

X. RELATIONSHIP OF THE PARTIES

- A. Contractor represents that it is an independent contractor and that no personnel performing any of the Construction Services shall be employees of or have any contractual relationship with the City.

XI. NOTICES

- A. All notices required by this Agreement shall be in writing, and unless otherwise directed by this Agreement, shall be sent to the addresses as set forth in this Section:
- B. Notices sent by Contractor shall be sent to:
 - City of Parkville
 - Attn: City Administrator
 - 8880 Clark Ave.
 - Parkville, MO 64152
- C. Notices sent by the City shall be sent to:
 - Arbor Masters Tree & Landscape
 - Attn: Mark Cantrell
 - 8250 Cole Parkway
 - Shawnee Mission, KS 66227

XII. CORRECTION OF WORK

The Contractor shall promptly correct work rejected by the City or failing to conform to the requirements of the Agreement, whether discovered before or after Substantial Completion and whether or not fabricated, installed or completed. Costs of correcting such rejected work, including additional testing and inspections, the cost of uncovering and replacement, and compensation for services and expenses of a designer made necessary thereby, shall be at the Contractor's expense. If the Contractor fails to correct nonconforming Work within ten (10) days after receipt of written notice from the City, the City may correct it at Contractor's expense.

XIII. TERM AND TERMINATION

- A. The effective date of this Agreement shall be the date of execution, when the Agreement is signed by both parties.
- B. Notwithstanding anything to the contrary in this Agreement or exhibit, the City reserves the right and may elect to terminate this Agreement at any time, with or without cause, by giving at least ten (10) days' written notice to the Contractor. The City shall compensate Contractor for the Construction Services that have been completed to the City's satisfaction as of the date of termination. Contractor shall perform no activities other than reasonable wrap-up activities after receipt of notice of termination.
- C. The City may terminate the Agreement for cause if the Contractor
 - 1. refuses or fails to supply enough properly skilled workers or proper materials;
 - 2. fails to make payment to Subcontractors for materials, equipment, services or labor in accordance with the respective agreements between the Contractor and the Subcontractors;
 - 3. disregards applicable laws, statutes, ordinances, codes, rules and regulations, or lawful orders of a public authority;
 - 4. or its Subcontractors or Sub-subcontractors causes a work stoppage due to any strike, picket, boycott or participates in any voluntary or involuntary cessation of Work; or
 - 5. otherwise is guilty of substantial breach of a provision of the Agreement.

When any of the above reasons exist, the City may without prejudice to any other rights or remedies of the City and after giving the Contractor and the Contractor's surety, if any, seven (7) days' written notice, terminate the Agreement and may, subject to any prior rights of the surety, if any:

- 1. Exclude the Contractor from the Project site and take possession of all materials, equipment, tools, and construction equipment and machinery thereon owned by the Contractor;
- 2. Direct the work of subcontractors; and
- 3. Finish the Work by whatever reasonable method the City may deem expedient. Upon written request of the Contractor, the City shall furnish to the Contractor a detailed accounting of the costs incurred by the City in finishing the Work.

When the Owner terminates the Agreement for one of the reasons stated in Section XIV. A., the Contractor shall not be entitled to receive further payment until the Work is finished.

If the unpaid balance of the Contract Price exceeds costs of finishing the Work, including compensation for the services and expenses of a designer, and legal, consultant and testing fees made necessary thereby, and other damages incurred by the City and not expressly waived, such excess shall be paid to the Contractor. If such costs and damages exceed the unpaid balance, the Contractor or its surety, if any, shall pay the difference to the City upon demand. The obligation for payment, if any, shall survive termination of the Agreement.

XIV. MISCELLANEOUS PROVISIONS

- A. Governing Law. This Agreement shall be governed and construed in accordance with the laws of the State of Missouri.
- B. Assignability. Contractor shall not assign any interest on this Agreement, and shall not transfer any interest in the same (whether by assignment or invitation), without the prior written consent of the City thereto. Provided, however, that the claims for money by Contractor from the City under this Agreement may be assigned to a bank, trust company, or other financial institution without such approval. Written notice of any such assignment or transfer shall be furnished promptly to the City.
- C. Media Announcements. Contractor shall not be authorized to make statements to the media or otherwise on behalf of the City without express direction and consent of the City
- D. Compliance with Local Laws. Contractor shall comply with all applicable laws, ordinances, and codes of the State of Missouri and local governments, and shall save the City harmless with respect to any damages arising from any tort done in performing any of the work embraced by this Agreement.
- E. Equal Employment Opportunity. During the performance of this Agreement, Contractor agrees as follows:
 - i. Contractor will not discriminate against any employee or applicant for employment because of race, creed, color, national origin, religion, or sex. Service Provider will take affirmative action to ensure that applicants are employed, and that employees are treated during employment, without regard to their race, creed, color, national origin, religion, or sex. Such action shall include, but not be limited to, employment, upgrading, demotion, or transfer; recruitment or recruitment advertising; layoff or termination; rates of pay or other forms of compensation; and selection for training, including apprenticeship.
 - ii. Contractor will, in all solicitation or advertisements for employees placed by or on behalf of Professional, state that all qualified applicants will receive consideration for employment without regard to race, creed, color, national origin, religion, or sex.
 - iii. Contractor will cause the foregoing provisions to be inserted in all subcontracts for any work covered by this Agreement so that provisions will be binding upon each subcontractor, provided that the foregoing provisions shall not apply to contracts or subcontracts for standard commercial supplies or raw materials.
- F. Interest of Members of a City. No member of the governing body of the City and no other officer, employee, or agent of the City who exercises any functions or responsibilities in connection with the planning and carrying out of this Agreement, shall have any personal financial interest, direct or indirect, in this Agreement, and Contractor shall take appropriate steps to assure compliance.
- G. Interest of Contractor and Employees. Contractor covenants that he/she presently has no interest and shall not acquire interest, direct or indirect, in the study area or any parcels therein or any other interest which would conflict in any manner or degree with the performance of his/her services hereunder. Contractor further covenants that in the performance of this Agreement, no person having any such interest shall be employed.
- H. Entire Agreement. This Agreement represents the entire Agreement and understanding between the parties, and this Agreement supersedes any prior negotiations, proposals,

or agreements. Unless otherwise provided in this Agreement, any amendment to this Agreement shall be in writing and shall be signed by the City and Contractor, and attached hereto.

- I. Severability. If any part, term or provision of this Agreement, or any attachments or amendments hereto, is declared invalid, void, or enforceable, all remaining parts, terms, and provisions shall remain in full force and effect.
- J. Waiver. The failure of either party to require performance of this Agreement shall not affect such party's right to enforce the same. A waiver by either party of any provision of breach of this Agreement shall be in writing. A written waiver shall not affect the waiving party's rights with respect to any other provision or breach.
- K. Third Parties. The Services to be performed by the Contractor are intended solely for the benefit for the City. Nothing contained herein shall create a contractual relationship with, or any rights in favor of, any person or entity not a signatory to this Agreement.

IN WITNESS WHEREOF, the parties hereto have caused this Agreement to be duly executed as of the date first above written.

CITY OF PARKVILLE, MISSOURI

By: _____
Nanette K. Johnston, Mayor

ATTEST:

By: _____
Melissa McChesney, City Clerk

ARBOR MASTERS TREE & LANDSCAPE

By: _____
Mark Cantrell

Exhibit A

SCOPE OF WORK AND PRICING AGREEMENT

Contractor agrees to perform all the Work described in the Contract Documents, including all Addenda, for the prices presented below for each Section of the Work. In case of a discrepancy between the Unit Price and the Extension Figure, the Unit Price shall rule. The service contract is for a one (1) year term. After one year of service to the City, the City may choose to extend the service contract for an additional term of one (1) year, with the unit prices as listed below.

- a. This Agreement allows the City to call on Contractor for assistance during emergency and non-emergency work scenarios. The situations will require different response times due to the severity and urgency of the work.
 - 1. Emergency – An emergency situation requires a response time within 4 hours for a condition that jeopardizes public safety; and with 24 hours for a condition that constitutes a public inconvenience.
 - 2. Non-emergency – A non-emergency situation requires a response time within 2 business days or a timeframe that is mutually agreed upon by both parties.

NON-EMERGENCY

TREE REMOVAL (INCLUDES LABOR AND EQUIPMENT)

SCOPE OF WORK DBH=diameter at 5' from the ground	UNIT PRICE
DBH 1 to 12 inches	\$160.00
DBH 13 to 24 inches	\$325.00
DBH 25 to 36 inches	\$695.00
DBH 37 to 48 inches	\$1,100.00
DBH 49 to 60 inches	\$1,850.00
Stump Removal	\$95.00

EMERGENCY

TREE REMOVAL (INCLUDES LABOR AND EQUIPMENT)

SCOPE OF WORK DBH=diameter at 5' from the ground	UNIT PRICE
DBH 1 to 12 inches	\$275.00
DBH 13 to 24 inches	\$575.00
DBH 25 to 36 inches	\$875.00
DBH 37 to 48 inches	\$1,500.00
DBH 49 to 60 inches	\$2,100.00
Stump Removal	\$150.00

NON-EMERGENCY

TREE PRUNING/TRIMMING (INCLUDES LABOR AND EQUIPMENT)

SCOPE OF WORK	UNIT PRICE
BUCKET TRUCK	Include w/ Labor
1-PERSON CREW	\$110.00
2-PERSON CREW	\$160.00
3-PERSON CREW	\$230.00
4-PERSON CREW	\$315.00
CHIPPER UNIT	\$25.00

EMERGENCY

TREE PRUNING/TRIMMING (INCLUDES LABOR AND EQUIPMENT)

SCOPE OF WORK	UNIT PRICE
BUCKET TRUCK	Include w/ Labor
1-PERSON CREW	\$135.00
2-PERSON CREW	\$195.00
3-PERSON CREW	\$265.00
4-PERSON CREW	\$350.00
CHIPPER UNIT	\$50.00

CITY OF PARKVILLE

Policy Report

Date: Thursday, July 14, 2016

Prepared By:
Stephen Lachky
Community Development Director

Reviewed By:
Melissa McChesney
City Clerk

ISSUE:

Adopt an ordinance approving the final plat of Lots 4-1 Through 4-3, Townhomes at the National – 2nd Plat, a Subdivision in Parkville, Platte County, Missouri. Case No. PZ16-11; applicant, Double Eagle Builders, LLC, owner.

BACKGROUND:

The Townhomes at the National – 2nd Plat is located north of Lime Stone Road along Lime Stone Court and was approved by Ordinance No. 2766 on July 15, 2015 (Case No. PZ14-21) and created seven individual lots (See Attachment 2) for the development of townhomes. Since approval of the final plat, building permits were issued for the construction of townhome units on Lot 4. Double Eagle Builders, LLC, the owner of the lots, submitted application PZ16-11 requesting approval of the final plat of Lots 4-1 through 4-3, Townhomes at the National – 2nd Plat (See Attachment 3), to create lots for the individual townhome units and area around each to be owned privately. The remainder of the lots — designated as Common Area — will be held and maintained by a common association as with the common areas for the rest of the Townhomes development.

The application was reviewed against the City of Parkville's Municipal Codes, including the subdivision regulations, the R-5 zoning district regulations, and the final plat at the National – 2nd Plat. The proposed plat meets all applicable requirements and is consistent with previously approved plans and plats.

No easements or rights-of-way have changed from the approval of the Townhomes at The National – 2nd Plat. The plat does not affect existing utilities and no new public improvements are required or proposed (all have previously been constructed and accepted).

The applicant has stated that this item is time sensitive due to necessary closings and requests the Board approve both readings of the ordinance at the same meeting to expedite the application. Since the lots are platted and no changes to the external boundaries of the lot, easements or rights-of-way are proposed and the structures are already built, expediting the application as requested does not have any negative impact.

BUDGET IMPACT:

With the exception of application and permit fees and any incremental increases from real estate and personal property taxes, there is no budgetary impact.

ALTERNATIVES:

1. Approve the final plat by ordinance as submitted.
2. Approve the final plat by ordinance subject to changes.
3. Deny the final plat.

STAFF RECOMMENDATION:

Approval of the proposed final plat as submitted.

POLICY:

Per Parkville Municipal Code Section 505.030, all plats must be approved by the Board of Aldermen prior to recording. Per the conditions of approval of the Townhomes at the National – 3rd Plat, the final to create individual townhome lots does not require Planning and Zoning Commission consideration and recommendation so long as no significant changes to the plat are proposed. The Board of Aldermen must approve two readings of the ordinance to become effective. Rule 5, *Agendas*, of the Board's adopted Rules of Order, states "*The first reading of an ordinance will be read on the action agenda and the second and final reading will be read the next subsequent meeting on the consent agenda, unless the item is a time-sensitive matter in which it may be approved during the same meeting.*"

SUGGESTED MOTIONS:

I move to approve Bill No. 2881, an ordinance approving the final plat of Lots 4-1 Through 4-3, Townhomes at the National – 2nd Plat, a Subdivision in Parkville, Platte County, Missouri, on first reading.

I move to approve Bill No. 2881 on second reading by title only to become Ordinance No. ____.

ATTACHMENTS:

1. Ordinance
2. Final Plat, Townhomes at the National – 2nd Plat (drawings prepared June 24, 2014)
3. Final Plat, Lots 4-1 Through 4-3, Townhomes at the National – 2nd Plat, a Subdivision in Parkville, Platte County, Missouri.
4. Application PZ16-11

AN ORDINANCE APPROVING THE FINAL PLAT OF LOTS 4-1 THROUGH 4-3, TOWNHOMES AT THE NATIONAL – 2ND PLAT, A SUBDIVISION IN PARKVILLE, PLATTE COUNTY, MISSOURI

WHEREAS, the Final Plat of the Townhomes at The National – 2nd Plat, showing only lots and not including individual buildings, was approved by Ordinance No. 2766 on July 15, 2015 (Case No. PZ14-21); and

WHEREAS, since approval of the final plat, building permits were issued for construction of the townhome units, foundations were constructed on said units and the foundations have been surveyed; and

WHEREAS, Double Eagle Builders, LLC, the owner of Lot 4, submitted application PZ16-11 requesting approval of the Final Plat of Lots 4-1 through 4-3, Townhomes at the National – 2nd Plat, a Subdivision in Parkville, Platte County, Missouri, attached hereto and incorporated herein by reference as Exhibit A; and

WHEREAS, the plats are submitted to further subdivide the lots to create individual townhome units and an area around each to be owned privately, as distinguished from the remainder of the lot, which will be held and maintained by a common association; and

WHEREAS, no easements or rights-of-way have changed from the approval of the Townhomes at The National – 2nd Plat.

BE IT ORDAINED BY THE BOARD OF ALDERMEN OF THE CITY OF PARKVILLE, MISSOURI, AS FOLLOWS:

SECTION 1. The Final Plat, Lots 4-1 Through 4-3, Townhomes at the National – 2nd Plat, a Subdivision in Parkville, Platte County, Missouri attached hereto and incorporated herein by reference as Exhibit A, is hereby approved.

SECTION 2. The City has previously accepted and agreed to maintain City improvements in easements and rights-of-way, which are designated on that plat.

SECTION 3. The applicant is hereby directed to have the plat recorded in the office of the Platte County Recorder of Deeds following execution and is responsible for paying all recording fees.

SECTION 4. This ordinance shall be effective immediately upon its passage and approval.

PASSED and APPROVED this 19th day of July 2016.

Mayor Nanette K. Johnston

ATTESTED:

City Clerk Melissa McChesney

Recorded in Platte County, Missouri
 Recording Date/Time: 09/26/2014 at 09:04:48 AM
 Instr Number: 2014010709
 Book: 21 Page: 114
 Type: DE PLAT
 Fee: \$98.00
 Grantor: DOUBLE EAGLE BUILDERS LLC
 Grantee: TOWNHOMES AT THE NATIONAL 2ND PLAT



FINAL PLAT

TOWNHOMES AT THE NATIONAL-2ND PLAT

NW 1/4 SEC. 26, T-51-N, R-34-W

PARKVILLE, PLATTE COUNTY, MISSOURI

DESCRIPTION:

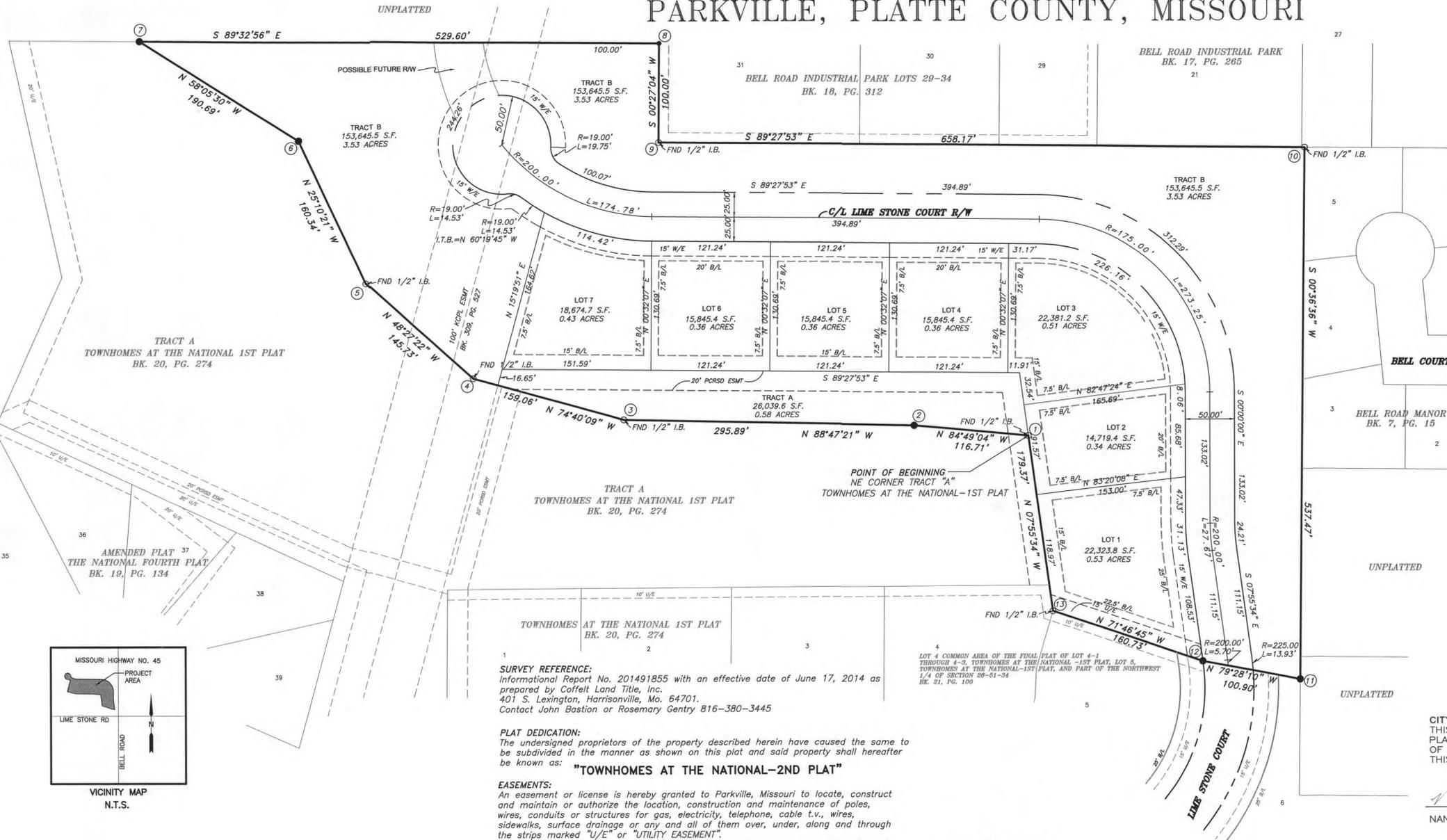
A tract of land being a part of the Northwest Quarter of Section 26, Township 51 North, Range 34 West, in the City of Parkville, Platte County, Missouri, being more particularly described as follows:

BEGINNING at the Northeast corner of TRACT A, TOWNHOMES AT THE NATIONAL-1ST PLAT, a subdivision of land in the City of Parkville, Platte County, Missouri according to the recorded plat thereof; thence North 84°49'04" West, along the North line of said TRACT A, a distance of 116.71 feet; thence North 89°47'21" West, continuing along the North line of said TRACT A, a distance of 295.89 feet; thence North 74°40'09" West, continuing along the North line of said TRACT A, a distance of 159.06 feet; thence North 48°27'22" West, continuing along the North line of said TRACT A, a distance of 145.73 feet; thence North 25°10'21" West, continuing along the North line of said TRACT A, a distance of 160.34 feet; thence North 58°05'30" West, continuing along the North line of said TRACT A, a distance of 190.69 feet; Thence South 89°32'56" East, departing the North line of said TRACT A, a distance of 529.60 feet, to a point on the West line of LOT 31, BELL ROAD INDUSTRIAL PARK, LOTS 29 through 34, a subdivision of land in the City of Parkville, Platte County, Missouri, according to the recorded plat thereof; thence South 00°27'04" West, along the West line of said LOT 31, a distance of 100.00 feet, to the Southwest corner of said LOT 31; thence South 89°27'53" East, along the South line of said BELL ROAD INDUSTRIAL PARK, LOTS 29-34 and also along the South line of BELL ROAD INDUSTRIAL PARK, a subdivision of land in the City of Parkville, Missouri, according to the recorded plat thereof, a distance of 658.17 feet, to the Northwest corner of LOT 5, BELL ROAD MANOR, a subdivision of land in the City of Parkville, Platte County, Missouri, according to the recorded plat thereof; thence South 00°36'36" West, along the West line of said BELL ROAD MANOR and the Southerly extension thereof, a distance of 537.47 feet, to the Northeast corner of LOT 6, of said TOWNHOMES AT THE NATIONAL-1ST PLAT; thence North 79°28'10" West, a distance of 100.90 feet, to a point on the West right of way line of LIME STONE COURT, as now established, said point also being the Northeast corner of LOT 5-A, LOT 4 COMMON AREA OF THE FINAL PLAT OF LOT 4-1 THROUGH 4-3, TOWNHOMES AT THE NATIONAL-1ST PLAT, LOT 5, TOWNHOMES AT THE NATIONAL-1ST PLAT AND PART OF THE NORTHWEST QUARTER OF SECTION 26-51-34, a subdivision of land in the City of Parkville, Platte County, Missouri, according to the recorded plat thereof; thence North 71°46'45" West, along the North line of said LOT 5-A, a distance of 160.73 feet, to the Northwest corner of said LOT 5-A; thence North 07°55'34" West, along the East line of said LOT 4 COMMON AREA and the Northerly extension thereof, a distance of 179.37 feet, to the POINT OF BEGINNING, containing 366,830.7 square feet or 8.42 acres, more or less.

TOTAL LAND AREA: 366,830.7 SQUARE FEET OR 8.42 ACRES
 PUBLIC RIGHT OF WAY: 61,510.5 SQUARE FEET OR 1.41 ACRES
 NET LAND AREA: 305,320.2 SQUARE FEET OR 7.01 ACRES

BEARINGS SHOWN HEREON ARE BASED ON THE RECORDED PLAT OF TOWNHOMES AT THE NATIONAL-1ST PLAT.
 COORDINATES SHOWN ARE BASED ON THE MISSOURI STATE PLANE COORDINATE SYSTEM, WEST ZONE, NAD 83, IN GRID METERS AND TIED TO THE MODOT VIRTUAL REFERENCE NETWORK.
 GRID FACTOR 0.9999082
 1 METER= 3.28083333 U.S. SURVEY FEET

PT#	NORTHING(m)	EASTING(m)
1	337390.486	833809.128
2	337393.699	833773.696
3	337395.605	833530.462
4	337408.421	833483.711
5	337437.876	833450.470
6	337482.104	833429.684
7	337512.823	833380.348
8	337511.552	833541.749
9	337481.076	833541.510
10	337479.203	833742.093
11	337315.405	833740.350
12	337321.025	833718.116
13	337336.342	833663.586



SURVEY REFERENCE:
 Informational Report No. 201491855 with an effective date of June 17, 2014 as prepared by Coffelt Land Title, Inc.
 401 S. Lexington, Harrisonville, Mo. 64701.
 Contact John Bastion or Rosemary Gentry 816-380-3445

PLAT DEDICATION:
 The undersigned proprietors of the property described herein have caused the same to be subdivided in the manner as shown on this plat and said property shall hereafter be known as:
"TOWNHOMES AT THE NATIONAL-2ND PLAT"

EASEMENTS:
 An easement or license is hereby granted to Parkville, Missouri to locate, construct and maintain or authorize the location, construction and maintenance of poles, wires, conduits or structures for gas, electricity, telephone, cable t.v., wires, sidewalks, surface drainage or any and all of them over, under, along and through the strips marked "U/E" or "UTILITY EASEMENT".
 An easement or license is hereby granted to Platte County Regional Sewer District to locate, construct and maintain or authorize the location, construction and maintenance of sanitary sewers over, under, along and through the strips marked "PCRS" or "PCRS D EASEMENT".
 An easement or license is hereby granted to Missouri American Water to locate, construct and maintain or authorize the location, construction and maintenance of water services over, under, along and through the strips marked "W/E" or "WATER EASEMENT".

STREETS:
 The streets and right of way shown on this plat and not heretofore dedicated to public use are hereby so dedicated.

COVENANTS AND RESTRICTIONS:
 The Covenants and Restrictions recorded in Book 1130 at Page 505 as recorded with the final plat of TOWNHOMES AT THE NATIONAL-1ST PLAT are to be amended to include this plat of TOWNHOMES AT THE NATIONAL-2ND PLAT and may be amended from time to time as prescribed in that Covenant and Restrictions.

PUBLIC IMPROVEMENTS:
 All public improvements including streets, sidewalks, curb & gutter and other required improvements shall meet the city's minimum standards.

BUILDING LINES:
 Building lines or setback lines are hereby established as shown on this plat, and no building or portion thereof shall be built or otherwise located between this line and the lot or street line.

OPEN SPACE:
 Tracts A and B are reserved as private open space to be reserved and maintained by DOUBLE EAGLE BUILDERS, LLC or its assigns for use and enjoyment as deemed appropriate. Private open space and/or cash in lieu of public open space has previously been accepted as part of the approved community unit plan for the National Golf Club of Kansas City.

IN WITNESS WHEREOF:

DOUBLE EAGLE BUILDERS, LLC, a Missouri Limited Liability Company licensed to do business in the State of Missouri, has caused these presents to be executed this 26th day of August, 2014.

DOUBLE EAGLE BUILDERS, LLC, a Missouri Limited Liability Company

BY: Dale Brouk Co-Manager

STATE OF Missouri) ss
 COUNTY OF Platte)

Be it remembered that on this 26th day of August, 2014, before me, the undersigned, a Notary Public in and for the County and State aforesaid, came Dale Brouk to me personally known, who being by me duly sworn, did say that he is Co-Manager of DOUBLE EAGLE BUILDERS, LLC, a Missouri Limited Liability Company and that said instrument was signed in behalf of said corporation and that said Dale Brouk acknowledged said instrument to be the free act and deed of said corporation.

IN WITNESS WHEREOF:

I have hereunto set my hand and affixed my Notarial Seal in the date herein last above written

My Commission Expires: April 07, 2017

Marcia Lockard
 Notary Public



CITY OF PARKVILLE:
 THIS IS TO CERTIFY THAT THIS FINAL PLAT OF "TOWNHOMES AT THE NATIONAL-2ND PLAT" WAS SUBMITTED TO, CONSIDERED AND APPROVED BY THE PARKVILLE BOARD OF ALDERMEN
 THIS 5th DAY OF July 2014, VIA ORDINANCE NO. 2766

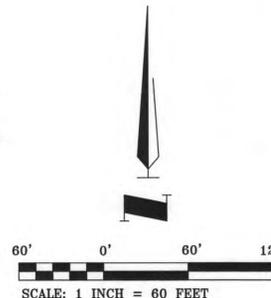
Nanette K. Johnston PLATTE COUNTY MISSOURI
 NANETTE K. JOHNSTON, MAYOR
Melissa McChesney
 MELISSA MCCHESNEY, CITY CLERK

NOTES:
 1. PROPERTY IS CURRENTLY ZONED R-5 CUP (PLANNED MULTI-FAMILY RESIDENTIAL).
 2. THIS PROPERTY LIES WITHIN "ZONE C" (AREAS OF MINIMAL FLOODING), AS DEPICTED ON COMMUNITY PANEL NO. 290475 0155A, DATED DECEMBER 18, 1979, NATIONAL FLOOD INSURANCE PROGRAM, PLATTE COUNTY, MISSOURI.
 3. SET 1/2" IRON BAR WITH "TREKK" CAP AT ALL PROPERTY CORNERS UNLESS NOTED OTHERWISE.

SURVEYED AND PLATTED FOR:
 DOUBLE EAGLE BUILDERS, LLC,
 A MISSOURI LIMITED LIABILITY COMPANY BY
 TREKK DESIGN GROUP, LLC
 1441 E. 104TH STREET, STE. 105
 KANSAS CITY, MO. 64131

I HEREBY CERTIFY that this Plat of TOWNHOMES AT THE NATIONAL-2ND PLAT is based on an actual survey made by me or under my direct supervision and that said survey meets or exceeds the current Missouri Minimum Standards for Property Boundary Surveys as established by the Missouri Board for Architects, Professional Engineers, Professional Surveyors and Landscape Architects and the Missouri Department of Agriculture. I further certify that I have complied with all statutes, ordinances, and regulations governing the practice of surveying and platting of subdivisions to the best of my professional knowledge and belief.

Samuel E. Walton 8/25/14
 Samuel E. Walton, PLS 2000161239
 swalton@trekkdesigngroup.com



Project No.: 14-020	TREKK DESIGN GROUP, LLC
Acad Dwg: FINAL PLAT	
Date: JUNE 24, 2014	1441 E. 104th St., Suite 105 Kansas City, Mo. 64131 Tel (816) 874-4655 Fax (816) 874-4675
Drawn By: S. WALTON	Sheet No.:
Revisions:	1 OF 1
7/1/14 CITY COMMENTS	
7/8/14 CITY COMMENTS	
7/22/14 DEVELOPER COMMENTS	
7/23/14 DEVELOPER COMMENTS	

FINAL PLAT
 LOTS 4-1 THROUGH 4-3, TOWNHOMES AT THE
 NATIONAL - 2ND PLAT,

A SUBDIVISION IN PARKVILLE, PLATTE COUNTY, MISSOURI

PROPERTY DESCRIPTION
 CONTAINING 15,845 SQUARE FEET OR 0.36 ACRES

ALL OF LOT 4, TOWNHOMES AT THE NATIONAL - 2ND PLAT, A SUBDIVISION IN PARKVILLE,
 PLATTE COUNTY, MISSOURI.

SURVEY NOTES:

1. THE FOLLOWING STANDARD MONUMENTATION HAS BEEN SET AT THE NOTED LOCATION UNLESS INDICATED OTHERWISE ON THIS DRAWING:

SEMI-PERMANENT MONUMENTATION:

CHISELED CROSS AT ALL CORNERS MARKED " * " "

1/2" IRON BAR WITH PLASTIC CAP STAMPED "LS-2007000089" SET AT ALL CORNERS MARKED " • " "

PERMANENT MONUMENTATION:

5/8" IRON BAR WITH ALUMINUM CAP STAMPED "LS-2007000089" SET AT ALL CORNERS MARKED " ▲ " "

2. THE POSITION OF EXISTING MONUMENTATION AS INDICATED BY AN " * " " • " " ○ " OR " △ " , IF NOT THE TRUE CORNER, IS BY DIFFERENCES IN COORDINATES OR AT RIGHT ANGLES TO THE PROPERTY LINE AT THE NOTED DISTANCE FROM THE NEAREST BOUNDARY CORNER.

3. THE SOURCE OF THE DESCRIPTION USED FOR THIS SURVEY WAS DERIVED FROM THE PLAT OF THE TOWNHOMES AT THE NATIONAL - 2ND PLAT, A SUBDIVISION IN PARKVILLE, PLATTE COUNTY, MISSOURI AS RECORDED IN PLAT BOOK 21 AT PAGE 114.

4. THE BEARINGS SHOWN HEREON ARE BASED UPON THE PLAT OF THE TOWNHOMES AT THE NATIONAL - 2ND PLAT, A SUBDIVISION IN PARKVILLE, PLATTE COUNTY, MISSOURI.

5. THIS SURVEY DOES NOT REFLECT ANY OF THE FOLLOWING WHICH WERE EITHER NOT REQUESTED OR FURNISHED BY THE CLIENT OR ARE NOT WITHIN THE SCOPE OF THE SERVICES PROVIDED BY A PROFESSIONAL SURVEYOR: THEREFORE, THIS SURVEYOR DOES NOT ACCEPT ANY LIABILITY SHOULD ANY OF THEM BE APPLICABLE TO THE SUBJECT REAL ESTATE: SUBSURFACE CONDITIONS; RESTRICTIVE COVENANTS; SUBDIVISION RESTRICTIONS; AND ZONING OR OTHER LAND USE REGULATIONS.

6. NO TITLE REPORT WAS PROVIDED BY THE CLIENT FOR THIS SURVEY.

7. THIS SURVEY IS BASED UPON RECORD DOCUMENTS, LEGAL DESCRIPTIONS, AND OTHER INFORMATION FURNISHED BY THE CLIENT PLUS OTHER INFORMATION KNOWN TO THIS SURVEYOR. THIS SURVEYOR HAS NO KNOWLEDGE OF ANY OTHER RECORD DOCUMENTS WHICH AFFECT THE SUBJECT REAL ESTATE.

8. THIS SURVEY MEETS OR EXCEEDS THE ACCURACY STANDARDS OF AN URBAN PROPERTY SURVEY AS DEFINED BY THE "MISSOURI MINIMUM STANDARDS FOR PROPERTY BOUNDARY SURVEYS".

9. BUILDING SHOWN IS BASED ON MEASURED FOUNDATION.

DEDICATION:

THE UNDERSIGNED PROPRIETORS OF THE PROPERTY DESCRIBED HEREIN HAVE CAUSED THE SAME TO BE SUBDIVIDED IN THE MANNER AS SHOWN ON THIS PLAT AND SAID PROPERTY SHALL HEREAFTER BE KNOWN AS:

FINAL PLAT, LOTS 4-1 THROUGH 4-3, TOWNHOMES AT THE NATIONAL - 2ND PLAT

EASEMENTS:

ALL EASEMENTS SHOWN HEREON HAVE BEEN PREVIOUSLY DEDICATED ON THE PLAT OF THE TOWNHOMES AT THE NATIONAL - 3RD PLAT, A SUBDIVISION IN PARKVILLE, PLATTE COUNTY, MISSOURI.

STREETS:

THE STREETS SHOWN ON THIS PLAT AND NOT HERETOFORE DEDICATED TO PUBLIC USE ARE HEREBY SO DEDICATED.

COVENANTS AND RESTRICTIONS:

THE COVENANTS AND RESTRICTIONS RECORDED WITH THE TOWNHOMES AT THE NATIONAL - 2ND PLAT APPLY TO THIS PLAT.

COMMON AREA:

THE COMMON AREA SHOWN HEREON WILL BE MAINTAINED BY A HOME OWNERS ASSOCIATION FOR USE AND ENJOYMENT AS THEY DEEM APPROPRIATE.

IN WITNESS WHEREOF, DOUBLE EAGLE, LLC, HAS CAUSED THESE PRESENTS TO BE EXECUTED THIS _____ DAY OF _____, 2016.

DOUBLE EAGLE BUILDERS, LLC

DALE BROUK, CO-MANAGER

STATE OF MISSOURI)

COUNTY OF _____) SS:

BE IT REMEMBERED THAT ON THIS _____ DAY OF _____, 2016, BEFORE ME, THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR THE COUNTY AND STATE AFORESAID, CAME DALE BROUK, TO ME PERSONALLY KNOWN, WHO BEING BY ME DULY SWORN, DID SAY THAT HE IS THE CO-MANAGER OF DOUBLE EAGLE BUILDERS, LLC, AND THAT SAID INSTRUMENT WAS SIGNED AND SEALED ON BEHALF OF SAID COMPANY AND THAT DALE BROUK, ACKNOWLEDGED SAID INSTRUMENT TO BE THE FREE ACT AND DEED OF SAID COMPANY.

IN WITNESS WHEREOF, I HAVE HEREUNTO SET MY HAND AND AFFIXED MY NOTARIAL SEAL IN THE DATE HEREIN LAST ABOVE WRITTEN.

NOTARY PUBLIC

MY COMMISSION EXPIRES: _____

CITY OF PARKVILLE, MISSOURI

THIS IS TO CERTIFY THAT THIS FINAL PLAT, LOTS 4-1 THROUGH 4-3 TOWNHOMES AT THE NATIONAL 2ND PLAT WAS SUBMITTED TO, CONSIDERED AND APPROVED BY THE PARKVILLE BOARD OF ALDERMAN THIS DAY OF _____, 2016 VIA ORDINANCE # _____

NANETTE K. JOHNSTON, MAYOR

MELISSA McCHESNEY, CITY CLERK

SURVEYOR'S CERTIFICATION

I HEREBY CERTIFY THAT WE HAVE MADE A SURVEY OF THE PREMISES HEREIN DESCRIBED WHICH MEET OR EXCEED THE CURRENT "MISSOURI MINIMUM STANDARDS FOR PROPERTY BOUNDARY SURVEYS" AS JOINTLY ESTABLISHED BY THE MISSOURI DEPARTMENT OF NATURAL RESOURCES, DIVISION OF GEOLOGY AND LAND SURVEY AND THE MISSOURI BOARD FOR ARCHITECTS, PROFESSIONAL ENGINEERS, PROFESSIONAL LAND SURVEYORS AND LANDSCAPE ARCHITECTS, AND THAT THE RESULTS OF SAID SURVEY ARE REPRESENTED ON THIS DRAWING TO THE BEST OF MY PROFESSIONAL KNOWLEDGE AND BELIEF.

ROBERT G. YOUNG, PLS-2007000089 07/14/2016
 DATE

IF THE SURVEYOR'S SEAL IS NOT SHOWN IN COLOR, THEN THE SURVEY IS A COPY THAT SHOULD BE ASSUMED TO CONTAIN UNAUTHORIZED ALTERATIONS. THIS CERTIFICATION CONTAINED ON THIS DOCUMENT SHALL NOT APPLY.

REVISED - 07/14/2016 - MODIFY TITLE - R.G.Y.

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R.L. Buford & Associates, LLC
 LAND SURVEYING - DEVELOPMENT CONSULTANTS
 R.L. BUFORD & ASSOCIATES, LLC
 MISSOURI CERT. OF AUTHORITY LICENSE NO. LS-2010031977

P.O. BOX 14069, PARKVILLE, MO. 64152 (816) 741-6152

FOR	SEC.-TWP.-RGE.	COUNTY	JOB NO.
THE NATIONAL	26-51-34	PLATTE	P-16114
	DATE	FIELD BOOK & PAGE	
	07/13/2016	LOOSE LEAF	

CERTIFICATE OF SURVEY DRAWN BY ABH

LIME STONE COURT R/W

CONCRETE CURB AND GUTTER

FOUND 1/2" BAR

LOT 5

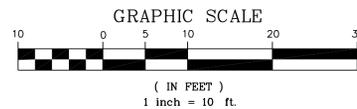
LOT 3

LOT 4-3
 4,071 SQUARE FEET
 0.09 ACRES

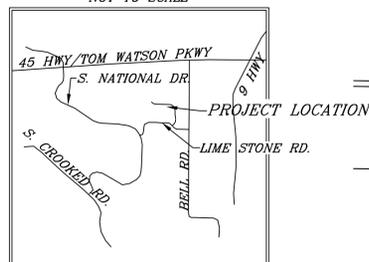
LOT 4-2
 2,875 SQUARE FEET
 0.07 ACRES

LOT 4-1
 4,271 SQUARE FEET
 0.10 ACRES

LOT 4
 COMMON AREA
 N89°27'53"W
 121.24'



VICINITY MAP
 NOT TO SCALE



TRACT A

SANITARY SEWER

SANITARY SEWER



Application #: PZ 16-11
 Date Submitted: 7-14-16
 Public Hearing: N/A
 Date Approved: _____

CITY OF PARKVILLE • 8980 Clark Avenue • Parkville, MO 64152 • (816) 741-7676 • FAX (816) 741-0013

Application for Final Plat

1. Applicant / Contact Information

Applicant(s)

Name: Double Eagle Builders, LLC
 Address: 6325 Lewis Street, Suite 112
 City, State: Parkville, Mo 64152
 Phone: 816-505-4297 Fax: 816-741-1462
 E-mail: daleb@fivestarlifestyles.com

Engineer and/or surveyor(s) preparing plat

Name: R.L. Buford & Associates, LLC
 Address: PO Box 14069
 City, State: Parkville, Mo 64152
 Phone: 816-741-6152 Fax: _____
 E-mail: rob@rlbuford.com

Owner(s), if different from applicant

Name: SAME
 Address: _____
 City, State: _____
 Phone: _____ Fax: _____
 E-mail: _____

Contact Person

Name: Dale W. Brouk
 Address: 6325 Lewis Street, Suite 112
 City, State: Parkville, Mo 64152
 Phone: 816-509-7754 Fax: _____
 E-mail: daleb@fivestarlifestyles.com

We, the undersigned, do hereby authorize the submittal of this application and associated documents and certify that all information contained therein is true and correct. We acknowledge that development in the City of Parkville is subject to the Municipal Code of the City of Parkville. We do hereby agree to abide by and comply with the above-mentioned codes, and further understand that any violations from the provisions of such or from the conditions as stated herein shall constitute cause for fines, punishments and revocation of approvals as applicable.

Applicant's Signature (Required) [Signature] Date: 7-14-16

Property Owner's Signature (Required) [Signature] Date: 7-14-16

2. Property Information

Name and phase of plat: Lots 4-1 through 4-3, Townhomes at The National - 2nd plat

Final plat in substantial conformance with approved preliminary plat? Yes

If not, explain: _____

Zoning district: B-5 CUP (Planned Multi-Family Residential) Anticipated uses: Townhomes

Acreage of this phase: N/A Planned District Number of lots: (3)

Minimum lot size: N/A Planned District Density of development: N/A Planned District

3. Additional Factors affecting the project

Please include other comments or factors relating to the proposed subdivision in an attached narrative.

4. Public Improvements

All public improvements must be designed to city standards and require approval, guarantees and permits prior to installation.

Improvement plans submitted and approved for:

Streets and access: N/A
Date approved

Length of new streets: N/A

Surface material: N/A Maximum grade: N/A

Sanitary sewer: N/A
Entity and date approved

Missouri Department of Natural Resources approval: N/A
Date approved

Water: N/A
Entity and date approved

Erosion and sediment control as per NPDES II: N/A
Date approved

Flood plain development permit (if required): N/A
Date approved

5. Checklist of required submittals

- Completed application, including plat with all required details and supporting data.
- Nonrefundable application fee of \$300.00 and \$5.00 per lot (minimum \$305.00).
- Submit twelve (12) copies of the final plat (24" x 36" or larger) and any supporting documentation, and one electronic copy (pdf) of the same for initial review by city staff and utility and service providers. Note that prior to Planning Commission and Board of Aldermen consideration additional copies will be required.
- Authorization signature of the owner of record of the property to be platted.
- Copy of any covenants and/or deed restrictions to be recorded with the Plat.
- Executed deed of release for any right-of-way dedicated to the city.
- Guarantees in the form of performance bonds or other city approved instrument ensuring the satisfactory completion of public improvements. The maintenance period for public improvements is two (2) years.

For City Use Only

Application accepted as complete by: Dale Brock 7-14-16
Name/Title Date

Application fee payment: Check # 1711 M.O. Cash

Final reimbursable costs paid (if applicable). Date of Action: _____

Planning Commission Action: Approved Approved with Conditions Denied Date of Action: _____

Conditions if any: _____

Board of Aldermen Action: Approved Approved with Conditions Denied Date of Action: _____

Conditions if any: _____

CITY OF PARKVILLE
Policy Report

Date: Thursday July 15, 2016

Prepared By:
Emily Crook
Billing Clerk

Reviewed By:
Tim Blakeslee
Assistant to the City Administrator

ISSUE:

Approval of Accounts Payable Invoices, 1st of the Month Checks, Electronic Funds Transfer (EFT) Payments, Credit and Debit Card Processing Fees, and Payroll Expenditures from 07/01/2016 through 07/15/2016.

BACKGROUND:

Attached are the statements of approved payments, per the City's Purchasing Policy, for the period from July 1st, 2016 through July 15, 2016. All disbursements must be reviewed and approved by the Board of Aldermen prior to the release of city funds.

BUDGET IMPACT:

Accounts Payable	\$251,758.24
Insurance Payments	\$0.00
1 st of the Month	\$2,350.00
EFT Payments	\$906.30
Processing Fees	\$587.15
Payroll	\$54,726.57
TOTAL	\$310,328.26

ALTERNATIVES:

1. Approve the release of funds.
2. Deny the release of funds and provide further direction to City Administration.
3. Deny any portion of the release of funds and provide further direction to City Administration.

STAFF RECOMMENDATION:

Staff recommends the release of funds as summarized in the attached statements.

SUGGESTED MOTION:

I move to appropriate \$310,328.26 of city funds to pay salaries and accounts.

ATTACHMENTS:

1. Accounts Payable
2. 1st of the Month
3. EFT Payments
4. Processing Fees
5. Payroll
6. Carquest Purchases
7. Lowe's Purchase
8. Price Chopper Purchases

PACKET: 05686 Federal Withholdings - 7/8/16

VENDOR SET: 01

BANK : PY Pooled Cash PY Related AP

VENDOR	NAME / I.D.	DESC	CHECK TYPE	CHECK DATE	DISCOUNT	AMOUNT	CHECK NO#	CHECK AMOUNT
00044	Park Bank							
	I-T1 201607074160	Federal Withholding	D	7/08/2016		8,262.04CR	000000	
	I-T3 201607074160	FICA W/H	D	7/08/2016		9,221.78CR	000000	
	I-T4 201607074160	Medicare W/H	D	7/08/2016		2,156.64CR	000000	19,640.46

** T O T A L S **

	NO#	DISCOUNTS	CHECK AMT	TOTAL APPLIED
REGULAR CHECKS:	0	0.00	0.00	0.00
HANDWRITTEN CHECKS:	0	0.00	0.00	0.00
PRE-WRITE CHECKS:	0	0.00	0.00	0.00
DRAFTS:	1	0.00	19,640.46	19,640.46
VOID CHECKS:	0	0.00	0.00	0.00
NON CHECKS:	0	0.00	0.00	0.00
CORRECTIONS:	0	0.00	0.00	0.00
REGISTER TOTALS:	1	0.00	19,640.46	19,640.46

TOTAL ERRORS: 0

TOTAL WARNINGS: 0

PACKET: 05688 Regular Payments-07-12-2016

VENDOR SET: 01

**** CHECK LISTING ****

BANK : AP Pooled Cash Regular AP

VENDOR	NAME / I.D.	DESC	CHECK TYPE	CHECK DATE	DISCOUNT	AMOUNT	CHECK NO#	CHECK AMOUNT
01641	United States Post Master							
	I-July-Aug 2016	July Aug 2016 Postage-SW	R	7/13/2016		900.00CR	035584	900.00

* * T O T A L S * *				NO#	DISCOUNTS	CHECK AMT	TOTAL APPLIED
REGULAR CHECKS:			1	0.00	900.00	900.00	
HANDWRITTEN CHECKS:			0	0.00	0.00	0.00	
PRE-WRITE CHECKS:			0	0.00	0.00	0.00	
DRAFTS:			0	0.00	0.00	0.00	
VOID CHECKS:			0	0.00	0.00	0.00	
NON CHECKS:			0	0.00	0.00	0.00	
CORRECTIONS:			0	0.00	0.00	0.00	
REGISTER TOTALS:			1	0.00	900.00	900.00	

TOTAL ERRORS: 0

TOTAL WARNINGS: 0

PACKET: 05695 Regular Payments-07/11/2016

VENDOR SET: 01

**** CHECK LISTING ****

BANK : AP Pooled Cash Regular AP

VENDOR	NAME / I.D.	DESC	CHECK TYPE	CHECK DATE	DISCOUNT	AMOUNT	CHECK NO#	CHECK AMOUNT
01405	Platte County Recorder of Deeds I-07062016	Grounded Prop Record Fee-AD	R	7/11/2016		36.00CR	035583	36.00

* * T O T A L S * *	NO#	DISCOUNTS	CHECK AMT	TOTAL APPLIED
REGULAR CHECKS:	1	0.00	36.00	36.00
HANDWRITTEN CHECKS:	0	0.00	0.00	0.00
PRE-WRITE CHECKS:	0	0.00	0.00	0.00
DRAFTS:	0	0.00	0.00	0.00
VOID CHECKS:	0	0.00	0.00	0.00
NON CHECKS:	0	0.00	0.00	0.00
CORRECTIONS:	0	0.00	0.00	0.00
REGISTER TOTALS:	1	0.00	36.00	36.00

TOTAL ERRORS: 0

TOTAL WARNINGS: 0

PACKET: 05697 Regular Payments-07/15/2016

VENDOR SET: 01

**** CHECK LISTING ****

BANK : AP Pooled Cash Regular AP

VENDOR	NAME / I.D.	DESC	CHECK TYPE	CHECK DATE	DISCOUNT	AMOUNT	CHECK NO#	CHECK AMOUNT
00002	A & M Printing I-57571	Park Closed Signs-AD	R	7/19/2016		10.50CR	035588	10.50
02453	Adorama I-18818902 I-18822411	Battery/Charger Light Sys-PD Booking Room Power Cord-PD	R	7/19/2016		31.00CR 29.00CR	035589 035589	60.00
00934	Allen's Water Service I-157	Water-ST	R	7/19/2016		250.00CR	035590	250.00
00593	Alliance Water Resources, I-6936 I-6974	June 2016 Contract Op-SW July 2016 Contract Op-SW	R	7/19/2016		24,206.92CR 24,206.92CR	035591 035591	48,413.84
01766	American Waste Systems, Inc. I-67100007	Portable Restroom Rental-NS	R	7/19/2016		95.00CR	035592	95.00
01369	Ameriguard Inc I-7437	Parker Polygraph Hiring-PD	R	7/19/2016		275.00CR	035593	275.00
00012	Carquest Auto Parts Store I-06/30/2016 Stmt	06/30/2016 Stmt	R	7/19/2016		515.64CR	035594	515.64
00258	Carter Waters Constructio I-3045112	Red Dye for Diesel Fuel-TP	R	7/19/2016		489.42CR	035595	489.42
02458	Chris Watson I-1542914001 I-1604268002	Watson Sewer Refund Watson Sewer Refund-SW	R	7/19/2016		129.52CR 25.38CR	035596 035596	154.90
00014	Chucks Parkville Garage I-36945	Mower Tire Repair-ST	R	7/19/2016		15.00CR	035597	15.00
02433	Cochran Head Vick & Co., P.C. I-1013924	2nd Pay 2015 Auditing Serv-AD	R	7/19/2016		9,060.00CR	035598	9,060.00
00977	Curious Eye Productions I-010-016 I-041-016 I-045-016	Feb 2016 Broadcast Serv-PI May 2016 Meeting Charges-PI June 2016 Meeting Charges-PI	R	7/19/2016		1,050.00CR 1,000.00CR 1,000.00CR	035599 035599 035599	3,050.00
00156	Dave's Foreign Car Repair LLC I-134,396 I-134,397 I-134,449 I-134,509	V610 Oil Change-PD V606 Oil Change-PD V604-Oil Change-PD V605 Oil Change-PD	R	7/19/2016		35.00CR 35.00CR 35.00CR 35.00CR	035600 035600 035600 035600	140.00

PACKET: 05697 Regular Payments-07/15/2016

VENDOR SET: 01

**** CHECK LISTING ****

BANK : AP Pooled Cash Regular AP

VENDOR	NAME / I.D.	DESC	CHECK TYPE	CHECK DATE	DISCOUNT	AMOUNT	CHECK NO#	CHECK AMOUNT
01610	ECI, Inc. I-06-9533-16	State Elevator Inspection-AD	R	7/19/2016		130.00CR	035601	130.00
02175	eNet I-4615 I-4626 I-4649	April 2016 IT Services-IT May 2016 IT Services-IT July Back-up Services-IT	R	7/19/2016		1,721.25CR 977.50CR 177.00CR	035602 035602 035602	2,875.75
02153	Fond Memories Engraving I-131353	Bronze Plaque Downtown-PW	R	7/19/2016		942.99CR	035603	942.99
02168	Gail Gene Derr I-865961	Old PV Cemetary Mowing-AD	R	7/19/2016		460.00CR	035604	460.00
02449	Genesis Environmental Solutions I-Pay App #2	WWTP Storage Build Const-SW/PK	R	7/19/2016		58,980.75CR	035605	58,980.75
01977	Gilmore & Bell, P.C. I-07012016	Legal Services Fee-SW	R	7/19/2016		124.00CR	035606	124.00
02407	Gunter Construction Company I-Pay App #3B	Route 9 Downtown Markers-95	R	7/19/2016		1,494.15CR	035607	1,494.15
00055	H&H Septic Service, Inc. I-38755C	WA-19	R	7/19/2016		4,517.50CR	035608	4,517.50
02253	InfoDeli I-ParkvilleMO.gov021	Feb 2016 Hosting Services-IT	R	7/19/2016		20.00CR	035609	20.00
02460	Joe Ryan I-Exp Rpt 06/22/2016	YVC Work Days Food/Drink-NS	R	7/19/2016		46.55CR	035610	46.55
02342	Kaw Valley Engineering, INC. I-C26347	Const Mat Testing WWTP-SW	R	7/19/2016		463.00CR	035611	463.00
01888	Kevin Chrisman I-Exp Rpt 07/07/2016	Met Cheif/Sher Lunch/Meet-PD	R	7/19/2016		16.00CR	035612	16.00
01097	Lippert Mechanical Service Corp I-S12024403	HVAC Repair-AD	R	7/19/2016		1,403.86CR	035613	1,403.86
00524	Lynn Peavey Company I-319674	Police Evidence Supplies-PD	R	7/19/2016		9.75CR	035614	9.75

PACKET: 05697 Regular Payments-07/15/2016

VENDOR SET: 01

**** CHECK LISTING ****

BANK : AP Pooled Cash Regular AP

VENDOR	NAME / I.D.	DESC	CHECK TYPE	CHECK DATE	DISCOUNT	AMOUNT	CHECK NO#	CHECK AMOUNT
00942	McKeever's Price Chopper I-07/05/2016 Stmt	07/05/2016 Stmt	R	7/19/2016		258.89CR	035615	258.89
02210	Melissa McChesney I-Exp Rpt 07/08/2016	Records Disaster Workshop-AD	R	7/19/2016		51.84CR	035616	51.84
00633	Missouri State Highway Pa I-06-22-2016	Police STARS Training-81	R	7/19/2016		50.00CR	035617	50.00
00092	New Directions I-2222114	July-Sep 2016 EAP Services-AD	R	7/19/2016		298.24CR	035618	298.24
01163	North Hills Engineering, Inc I-1606	June 2016 Engineer Serv-SW	R	7/19/2016		5,925.00CR	035619	5,925.00
01272	Olsson Associates I-254689	Hazard Mitig Grant Assist-PW	R	7/19/2016		809.20CR	035620	809.20
02243	Pest Management Supply I-ORD0176078	Weed Killer-ST	R	7/19/2016		208.80CR	035621	208.80
00107	Platte Rental & Supply I-28319 I-28391 I-28405	Weed Eater String-ST Pole Saw Bar & Chain-TP Weed Eater Parts-TP	R R R	7/19/2016 7/19/2016 7/19/2016		15.99CR 48.24CR 12.90CR	035622 035622 035622	77.13
00111	PsychLogic I-07.05.16	Parker Hiring Psych Test-PD	R	7/19/2016		200.00CR	035623	200.00
02459	Reserve Advisors, Inc I-1552799F-152321	Reserve Study-AD	R	7/19/2016		7,100.00CR	035624	7,100.00
01390	Riss Lake Homes Association I-July 2016	GP Transfer July 2016-SW	R	7/19/2016		26,107.14CR	035625	26,107.14
01087	Stinson Leonard Street LLP I-40011305	June 2016 Professional Serv-AD	R	7/19/2016		6,450.00CR	035626	6,450.00
00154	T-Ray Specialties Inc. I-28480	Hats & T-shirts-ST	R	7/19/2016		491.00CR	035627	491.00
01967	The Waldinger Corporation I-6/14/16	HVAC Repair-AD	R	7/19/2016		568.00CR	035628	568.00

PACKET: 05697 Regular Payments-07/15/2016

VENDOR SET: 01

*** DRAFT/OTHER LISTING ***

BANK : AP Pooled Cash Regular AP

VENDOR	NAME / I.D.	DESC	ITEM TYPE	ITEM DATE	DISCOUNT	AMOUNT	ITEM NO#	ITEM AMOUNT
01850	Fleet Services - General Account I-06/30/2016 Stmt	City Fuel-SW/CD/TP/PK/NS	D	7/19/2016		1,627.17CR	000001	1,627.17
01849	Fleet Services - Police I-46014768	Fuel-PD	D	7/19/2016		2,335.58CR	000002	2,335.58
02057	Lowe's Accounts Receivable I-07/02/2016 Stmt	07/02/2016	D	7/19/2016		348.47CR	000003	348.47
00103	Pitney Bowes, Inc. I-1000894855	Postage Machine Rental-AD	D	7/19/2016		210.00CR	000004	210.00

* * T O T A L S * *	NO#	DISCOUNTS	CHECK AMT	TOTAL APPLIED
REGULAR CHECKS:	46	0.00	185,280.69	185,280.69
HANDWRITTEN CHECKS:	0	0.00	0.00	0.00
PRE-WRITE CHECKS:	0	0.00	0.00	0.00
DRAFTS:	4	0.00	4,521.22	4,521.22
VOID CHECKS:	0	0.00	0.00	0.00
NON CHECKS:	0	0.00	0.00	0.00
CORRECTIONS:	0	0.00	0.00	0.00
REGISTER TOTALS:	50	0.00	189,801.91	189,801.91

TOTAL ERRORS: 0

TOTAL WARNINGS: 0

PACKET: 05696 Regular Payments-1st of Months

VENDOR SET: 01

**** CHECK LISTING ****

BANK : AP Pooled Cash Regular AP

VENDOR	NAME / I.D.	DESC	CHECK TYPE	CHECK DATE	DISCOUNT	AMOUNT	CHECK NO#	CHECK AMOUNT
00519	Friends of Parkville Animal Shelter							
	I-0801-Animal Co	Animal Control-AD	R	7/19/2016		500.00CR	035585	500.00
00577	Sarah E Recker, Law Offic							
	I-0801-Pub Defen	Public Defender	R	7/19/2016		600.00CR	035586	600.00
01407	Witt, Hicklin & Snider PC							
	I-0801-Prosecuto	City Proscutor-CT	R	7/19/2016		1,250.00CR	035587	1,250.00

* * T O T A L S * *	NO#	DISCOUNTS	CHECK AMT	TOTAL APPLIED
REGULAR CHECKS:	3	0.00	2,350.00	2,350.00
HANDWRITTEN CHECKS:	0	0.00	0.00	0.00
PRE-WRITE CHECKS:	0	0.00	0.00	0.00
DRAFTS:	0	0.00	0.00	0.00
VOID CHECKS:	0	0.00	0.00	0.00
NON CHECKS:	0	0.00	0.00	0.00
CORRECTIONS:	0	0.00	0.00	0.00
REGISTER TOTALS:	3	0.00	2,350.00	2,350.00

PACKET: 05698 Regular Payments-07/15/2016

VENDOR SET: 01

*** DRAFT/OTHER LISTING ***

BANK : AP Pooled Cash Regular AP

VENDOR	NAME / I.D.	DESC	ITEM TYPE	ITEM DATE	DISCOUNT	AMOUNT	ITEM NO#	ITEM AMOUNT
01614	KCPL							
	I-Due 07/13/2016	Electricity Due 07/13/2016	D	7/19/2016		341.76CR	000005	
	I-Due 07/14/2016	Electricity Due 07/14/2016	D	7/19/2016		5,651.51CR	000005	
	I-Due 07/20/2016	Electricity Due 07/20/2016	D	7/19/2016		20,177.36CR	000005	26,170.63

* * T O T A L S * *	NO#	DISCOUNTS	CHECK AMT	TOTAL APPLIED
REGULAR CHECKS:	7	0.00	15,209.24	15,209.24
HANDWRITTEN CHECKS:	0	0.00	0.00	0.00
PRE-WRITE CHECKS:	0	0.00	0.00	0.00
DRAFTS:	1	0.00	26,170.63	26,170.63
VOID CHECKS:	0	0.00	0.00	0.00
NON CHECKS:	0	0.00	0.00	0.00
CORRECTIONS:	0	0.00	0.00	0.00
REGISTER TOTALS:	8	0.00	41,379.87	41,379.87

7/15/2016 1:38 PM

A / P CHECK REGISTER

PAGE: 1

PACKET: 05698 Regular Payments-07/15/2016

VENDOR SET: 01

**** CHECK LISTING ****

BANK : AP Pooled Cash Regular AP

VENDOR	NAME / I.D.	DESC	CHECK TYPE	CHECK DATE	DISCOUNT	AMOUNT	CHECK NO#	CHECK AMOUNT
02461	Brady Brewster I-Exp Rpt 07/05/2016	Code Violation Postage-CD	R	7/19/2016		6.47CR	035634	6.47
00036	Deffenbaugh Industries I-1083395-4858-9	WWTP Trash Service-SW	R	7/19/2016		28.72CR	035635	28.72
00084	McConnell & Associates Co I-96856a	Missouri One Call Paint-SW	R	7/19/2016		71.76CR	035636	71.76
00159	Missouri American Water I-Due 06/27/2016	Water Due 06/27/2016	R	7/19/2016		150.43CR	035637	150.43
00117	Reeves Wiedeman Company I-4769143	WWTP Water Serv Line Part-SW	R	7/19/2016		16.49CR	035638	16.49
02029	Reinders, Inc. I-5029122 I-5029390	Weed Killer-PK Surfactan-PK	R R	7/19/2016 7/19/2016		120.00CR 70.00CR	035639 035639	190.00
01083	UMB Bank, N.A. I-Due 07/25/2016	2004C Bond Payment	R	7/19/2016		14,745.37CR	035640	14,745.37

PACKET: 05569 Direct Payables EFT-07/15

VENDOR SET: 01 City Vendors

SEQUENCE : ALPHABETIC

DUE TO/FROM ACCOUNTS SUPPRESSED

-----ID-----	ITM DATE BANK CODE	-----DESCRIPTION-----	GROSS DISCOUNT	P.O. # G/L ACCOUNT	--ACCOUNT NAME--	DISTRIBUTION
=====						
01-02201	ICMA Retirement Coproration					
I-0801-Retiremen	8/01/2016 AP	Lauren Palmer Retirement DUE: 8/01/2016 DISC: 8/01/2016 Lauren Palmer Retirement	554.00	1099: N 10 501.01-22-00	Retirement	554.00
I-ICM201606274159	6/24/2016 AP	457 DEF COMP EFT DISC: 6/24/2016 457 DEF COMP	166.15	1099: N 10 501.01-22-00	Retirement	166.15
I-ICM201607074160	7/08/2016 AP	457 DEF COMP EFT DISC: 7/08/2016 457 DEF COMP	166.15	1099: N 10 501.01-22-00	Retirement	166.15
		=== VENDOR TOTALS ===	886.30			
=====						
01-02396	Melissa McChesney*					
I-0801-Allowance	8/01/2016 AP	Cell Phone Allowance DUE: 8/01/2016 DISC: 8/01/2016 Cell Phone Allowance	10.00	1099: N 10 501.03-05-00	Mobile Phones &	10.00
		=== VENDOR TOTALS ===	10.00			
=====						
01-01729	Toni Rizutti*					
I-0801-Reimburse	8/01/2016 AP	Cell Phone Reimbursement DUE: 8/01/2016 DISC: 8/01/2016 Cell Phone Reimbursement	10.00	1099: N 10 510.03-05-00	Mobile Phone &	10.00
		=== VENDOR TOTALS ===	10.00			
		=== PACKET TOTALS ===	906.30			

Accounts Payable Credit Card Report 7/14/16			
Accounts:	1	Sewer	Total
Monthly Fees:	\$287.29	\$299.86	\$587.15
\$ Collected on CC:	\$5,463.30	\$9,439.59	\$14,902.89

VENDOR SET: 01 City of Parkville
 BANK: AP Pooled Cash Regular AP
 DATE RANGE: 7/10/2016 THRU 99/99/9999

VENDOR I.D.	NAME	STATUS	CHECK DATE	AMOUNT	DISCOUNT	CHECK NO	CHECK STATUS	CHECK AMOUNT
00012	Carquest Auto Parts Store							
I-06/30/2016 Stmt	06/30/2016 Stmt	R	7/19/2016			035594		
10 525.06-22-01	Equipment Gas & Oil		Equipment Oil-PK	9.54				
10 505.06-21-00	Vehicle Repair & Maintenance		Washer Fluid/Gas Cle	18.83				
30 501.06-21-02	Tractor/Lawn Mowing Equipment		Refrigerant & Fuse-S	25.50				
30 501.06-22-01	Equipment Gas & Oil		Oil & PS Fluid-SW	26.28				
30 501.06-12-00	Pump Stations Maintenance		Farm Truck Battery-S	113.22				
40 520.06-22-00	Vehicle & Equipment Gas & Oil		Tractor Oil-TP	39.98				
10 525.05-21-00	Equipment & Handtools		Grease, Fluids, Clea	69.61				
10 505.06-21-00	Vehicle Repair & Maintenance		Replacement Headligh	48.98				
10 505.06-21-00	Vehicle Repair & Maintenance		Replacement Headligh	17.98				
40 520.06-22-00	Vehicle & Equipment Gas & Oil		Grease-TP	5.51				
10 535.06-21-00	Vehicle Repair & Maintenance		Truck Battery-NS	81.73				
10 525.05-21-00	Equipment & Handtools		Oil Absorbant-PK	8.83				
10 525.06-22-01	Equipment Gas & Oil		OMower Oil-PK	49.65				515.64

* * T O T A L S * *

	NO	INVOICE AMOUNT	DISCOUNTS	CHECK AMOUNT
REGULAR CHECKS:	1	515.64	0.00	515.64
HAND CHECKS:	0	0.00	0.00	0.00
DRAFTS:	0	0.00	0.00	0.00
EFT:	0	0.00	0.00	0.00
NON CHECKS:	0	0.00	0.00	0.00
VOID CHECKS:	0	VOID DEBITS 0.00		
		VOID CREDITS 0.00	0.00	0.00

TOTAL ERRORS: 0

** G/L ACCOUNT TOTALS **

G/L ACCOUNT	NAME	AMOUNT
10 505.06-21-00	Vehicle Repair & Maintenance	85.79
10 525.05-21-00	Equipment & Handtools	78.44
10 525.06-22-01	Equipment Gas & Oil	59.19
10 535.06-21-00	Vehicle Repair & Maintenance	81.73
	*** FUND TOTAL ***	305.15
30 501.06-12-00	Pump Stations Maintenance	113.22
30 501.06-21-02	Tractor/Lawn Mowing Equipment	25.50
30 501.06-22-01	Equipment Gas & Oil	26.28
	*** FUND TOTAL ***	165.00
40 520.06-22-00	Vehicle & Equipment Gas & Oil	45.49
	*** FUND TOTAL ***	45.49

VENDOR SET: 01 City of Parkville
BANK: AP Pooled Cash Regular AP
DATE RANGE: 7/10/2016 THRU 99/99/9999

VENDOR I.D.	NAME	STATUS	CHECK DATE	AMOUNT	DISCOUNT	CHECK NO	CHECK STATUS	CHECK AMOUNT
			NO	INVOICE AMOUNT	DISCOUNTS	CHECK AMOUNT		
VENDOR SET: 01	BANK: AP	TOTALS:	1	515.64	0.00	515.64		
BANK: AP	TOTALS:		1	515.64	0.00	515.64		
REPORT TOTALS:			1	515.64	0.00	515.64		

VENDOR SET: 01 City of Parkville
BANK: AP Pooled Cash Regular AP
DATE RANGE: 7/10/2016 THRU 99/99/9999

VENDOR I.D.	NAME	STATUS	CHECK DATE	AMOUNT	DISCOUNT	CHECK NO	CHECK STATUS	CHECK AMOUNT
02057	Lowe's Accounts Receivable							
I-07/02/2016 Stmt	07/02/2016	D	7/19/2016			000003		
10 520.05-21-00	Handtools		Plywood-ST	43.66				
10 520.05-21-00	Handtools		Fold-Out Ladder-ST	170.05				
10 525.07-51-00	Mosquito & Weed Control		Weed & Wasp Spray-PK	134.76				348.47

* * T O T A L S * *

	NO	INVOICE AMOUNT	DISCOUNTS	CHECK AMOUNT
REGULAR CHECKS:	0	0.00	0.00	0.00
HAND CHECKS:	0	0.00	0.00	0.00
DRAFTS:	1	348.47	0.00	348.47
EFT:	0	0.00	0.00	0.00
NON CHECKS:	0	0.00	0.00	0.00
VOID CHECKS:	0	VOID DEBITS 0.00		
		VOID CREDITS 0.00	0.00	0.00

TOTAL ERRORS: 0

** G/L ACCOUNT TOTALS **

G/L ACCOUNT	NAME	AMOUNT
10 520.05-21-00	Handtools	213.71
10 525.07-51-00	Mosquito & Weed Control	134.76
	*** FUND TOTAL ***	348.47

VENDOR SET: 01	BANK: AP	TOTALS:	NO	INVOICE AMOUNT	DISCOUNTS	CHECK AMOUNT
			1	348.47	0.00	348.47
BANK: AP	TOTALS:		1	348.47	0.00	348.47
REPORT TOTALS:			1	348.47	0.00	348.47

VENDOR SET: 01 City of Parkville
 BANK: AP Pooled Cash Regular AP
 DATE RANGE: 7/10/2016 THRU 99/99/9999

VENDOR I.D.	NAME	STATUS	CHECK DATE	AMOUNT	DISCOUNT	CHECK NO	CHECK STATUS	CHECK AMOUNT
00942	McKeever's Price Chopper							
I-07/05/2016 Stmt	07/05/2016 Stmt	R	7/19/2016			035615		
10 520.07-43-02	HHW Collection Event		Doughnuts & Ice-ST	20.34				
10 520.05-21-00	Handtools		Ice-ST	17.92				
10 520.05-21-00	Handtools		Shop Supplies & Coff	29.11				
10 520.05-21-00	Handtools		Batteries-ST	12.78				
10 510.09-21-00	Miscellaneous		Brownies & Water-CT	22.35				
10 505.05-21-00	Equipment and Handtools		Batteries/Evidence S	17.77				
10 505.05-01-00	Office Supplies & Consumables		Fingerprinting Baby	8.63				
10 525.03-04-00	Water		Water-PK	15.96				
10 520.05-21-00	Handtools		Ice & Gatorade-ST	33.44				
10 525.05-41-01	Restroom Supplies		Restroom Supplies-PK	15.81				
10 505.05-01-00	Office Supplies & Consumables		Water-PD	5.98				
10 20070	Vol. Employee Fund W/H		June Staff Rec Suppl	4.39				
10 505.05-01-00	Office Supplies & Consumables		Plates, Utensils, Co	45.64				
10 560.52-50-00	Parks Capital Outlay		07/04 PMP Public Sup	8.77				258.89

* * T O T A L S * *	NO	INVOICE AMOUNT	DISCOUNTS	CHECK AMOUNT
REGULAR CHECKS:	1	258.89	0.00	258.89
HAND CHECKS:	0	0.00	0.00	0.00
DRAFTS:	0	0.00	0.00	0.00
EFT:	0	0.00	0.00	0.00
NON CHECKS:	0	0.00	0.00	0.00
VOID CHECKS:	0	VOID DEBITS 0.00		
		VOID CREDITS 0.00	0.00	0.00

TOTAL ERRORS: 0

** G/L ACCOUNT TOTALS **

G/L ACCOUNT	NAME	AMOUNT
10 20070	Vol. Employee Fund W/H	4.39
10 505.05-01-00	Office Supplies & Consumables	60.25
10 505.05-21-00	Equipment and Handtools	17.77
10 510.09-21-00	Miscellaneous	22.35
10 520.05-21-00	Handtools	93.25
10 520.07-43-02	HHW Collection Event	20.34
10 525.03-04-00	Water	15.96
10 525.05-41-01	Restroom Supplies	15.81
10 560.52-50-00	Parks Capital Outlay	8.77
	*** FUND TOTAL ***	258.89

VENDOR SET: 01 City of Parkville
BANK: AP Pooled Cash Regular AP
DATE RANGE: 7/10/2016 THRU 99/99/9999

VENDOR I.D.	NAME	STATUS	CHECK DATE	AMOUNT	DISCOUNT	CHECK NO	CHECK STATUS	CHECK AMOUNT
-------------	------	--------	------------	--------	----------	----------	--------------	--------------

	NO	INVOICE AMOUNT	DISCOUNTS	CHECK AMOUNT
VENDOR SET: 01 BANK: AP TOTALS:	1	258.89	0.00	258.89
BANK: AP TOTALS:	1	258.89	0.00	258.89
REPORT TOTALS:	1	258.89	0.00	258.89

CITY OF PARKVILLE

Policy Report

Date: Tuesday, July 5, 2016

Prepared By:
Lauren Palmer
City Administrator

Reviewed By:
Alysen Abel
Public Works Director

ISSUE:

Receive and file the Parkville Mine Inspection Report from Kansas City Testing & Engineering, LLC

BACKGROUND:

On September 17, 1980, the Board of Aldermen adopted Ordinance No. 803 which granted a conditional use permit (CUP) to Park College to permit limestone extractions and processing operations on campus. On March 17, 1981, Ordinance No. 803 was repealed by the adoption of Ordinance No. 827 which granted a revised CUP that is in effect today. Among other provisions, Ordinance No. 827 required the university to conduct mining operations, "in accordance with a Mine Development Plan which must be in accordance with the regulations of all state and federal mining regulator agencies." The Mine Development Plan was last updated and accepted on November 7, 2000, by ordinance No. 1913.

Both the CUP and the Mine Development Plan authorize the City to employ a qualified registered engineer to make unscheduled inspections and written reports as to the mine operator's compliance with applicable regulations. Inspection procedures must comply with federal regulations regarding visitors in the mine. Such inspections may be made at least annually but not more than three (3) times during any one year. A review of records indicates that the City last conducted inspections in 2006 through a contract with Dressler Consulting Engineers.

Last year the City responded to renewed complaints, primarily from residents in Riss Lake and the River Hills subdivision, about the impacts of mining operations. The City, in partnership with the mine operator Martin Marietta and Park University, conducted a series of neighborhood meetings to share information and hear concerns. During those meetings, the City committed to re-establish the regular mining inspections authorized by the various ordinances. On March 7, 2016, the Finance Committee approved a professional services agreement with Kansas City Testing & Engineering, LLC (KCTE) for mining inspection services. The mine operator must reimburse the City for this service at a cost of not more than \$1,500 per inspection.

Steven M. Bruer is a senior geotechnical engineer and engineering geologist with KCTE who performed the inspections and analysis of the Parkville Mine. Mr. Bruer concluded that the mine is being operated by Martin Marietta in compliance with the CUP (see Attachment 1). He will summarize his analysis and present his findings at the board meeting on July 19, 2016. Staff recommends repeating the inspections process on an annual basis unless there is a significant change in operations that would warrant more frequent inspections (up to three times per year). Representatives from Martin Marietta are also invited to provide an update on ongoing efforts to mitigate impacts on the neighbors.

BUDGET IMPACT:

There is no budget impact associated with this action.

ALTERNATIVES:

1. Receive and file Parkville Mine Inspection Report from Kansas City Testing & Engineering, LLC.
2. Do not receive and file the report; and direct staff and the consultant to perform additional inspections or analysis.
3. Postpone the item.

STAFF RECOMMENDATION:

Staff recommends that the Board receive and file the Parkville Mine Inspection Report from Kansas City Testing & Engineering, LLC.

POLICY:

Staff recommends that the Board formally receive and file the report to provide a record of the inspection services and public review of the conclusions.

SUGGESTED MOTION:

I move to receive and file the Parkville Mine Inspection Report from Kansas City Testing & Engineering, LLC.

ATTACHMENT:

1. KCTE Report of Inspection – Parkville Mine – 6-24-16
2. Mine Development Plan

June 24, 2016

Ms. Lauren Palmer

City Administrator
City of Parkville, Missouri
8880 Clark Avenue
Parkville, Missouri 64152

Re: Report of Inspection - Parkville Mine

Parkville, Missouri
KCTE Project No. G20-16-053

Dear Ms. Palmer,

Pursuant to your request, Kansas City Testing & Engineering LLC (KCTE) performed an inspection of the underground limestone mine (Parkville Mine) owned by Park University and operated by Martin-Marietta Materials, Inc. (Martin Marietta) and located in Parkville, Missouri. The inspection was conducted by a professional engineer/registered geologist licensed in the State of Missouri. A summary of our inspection is provided in the following sections of this report.

BACKGROUND

The City of Parkville, Missouri (City) granted a Conditional Use Permit (CUP) to Park University (City Ordinance No. 827) in September 1980 to permit limestone extraction and processing operations at the Parkville Mine (Mine).

The Mine is operated by Martin Marietta Materials, Inc. The CUP required that a Mine Development Plan be submitted by the mine operator. The Mine operator is Martin Marietta Materials, Inc. A partial copy of the Mine Development Plan was provided to KCTE. Some of the larger plans referenced in the Mine Development Plan were not provided to KCTE.

The CUP provides the City the right to conduct inspections at any reasonable time during the business day or anytime if the event of an emergency to certify that the regulations in the CUP are being followed.

The following sections provide a summary of KCTE's inspection of the Mine based on the regulations in the CUP.

SCOPE OF INSPECTION

The scope of the Parkville Mine inspection performed by KCTE consisted of:

- Review of City of Parkville, Missouri Ordinance Number 827 (Conditional Use Permit) granted March 17, 1981,
- Review of the Mine Development Plan prepared by Martin Marietta Materials, Inc.,

- Visual inspection of the limestone extraction process and processing operation,
- Review of the blast vibration monitoring data from the period of January 1, 2015 to April 25, 2016,
- Visual inspection at the Riss Lake Dam seismograph station during a blast event, and
- Preparation of this report.

SUMMARY OF INSPECTION

Review of Conditional Use Permit

KCTE reviewed the CUP to become familiar with the requirements for operating the mine. Specific regulations for operation of the mine are presented in the CUP. A copy of the CUP is presented in Attachment A.

Review of the Mine Development Plan

The Mine Development Plan was prepared by Martin Marietta Materials, Inc. as long-term plan that was not anticipated to change substantially from year to year. Copies of individual updates to the Mine Development Plan are submitted under separate cover.

The following sections of the Mine Development Plan were updated during this inspection:

Section 2 – Topographic Site Plan

No topographic plans were provided in the copy of the Mine Development Plan provided to KCTE. All referenced topographic plans were requested from and provided by Martin Marietta.

Section 3 – Proposed Mine Layout

No figures were provided in the copy of the Mine Development Plan provided to KCTE. All referenced figures were requested from and provided by Martin Marietta.

Section 6 – Proposed Blasting Procedures

Figure 4 – *Proposed Drilling and Blasting Patterns* was not provided in the Mine Development Plan provided to KCTE. A copy of Figure 4 was requested from and provided by Martin Marietta.

Section 8 – Mine Management Plan

The names of individuals responsible for management and operation of mine and related operations were updated.

Section 9 – Master Traffic Plan

The name of the individual responsible for truck traffic complaints was updated.

Section 11 – Pollution Abatement Plan

The name of the individual responsible for the Pollution Abatement Plan was updated.

Visual Inspection of the Limestone Extraction Process and Processing Operation

A visual inspection was made by KCTE on Wednesday, May 11, 2016, of both the underground limestone extraction process and the above-ground processing operations. Representatives of Martin Marietta provided unencumbered access to all areas of the underground and above-ground operations. The operations observed by KCTE appeared to be in compliance with the CUP.

Review of Blast Vibration Monitoring Data

Martin Marietta, Inc. provided all their vibration monitoring data collected from January 1, 2015 through April 25, 2016. The data was reviewed by KCTE to assess if any recorded vibration data had a peak particle velocity (PPV) greater than 1.55 inches per second in the soil at the ground surface. The 1.55 inches per second is the locally accepted upper limit for PPVs. The highest PPV recorded was well below the 1.55 inches per second, measured at 0.070 inches per second. The average PPV measured during this time period is 0.032 inches per second. A copy of the PPV data is presented in Attachment B.

Visual Observation at Riss Lake Dam During A Blast Event

A visual observation was made by KCTE on Thursday, June 9, 2016, at the Riss Lake Dam seismograph station during an underground blast event. Representatives of Martin Marietta and their vibration monitoring consultant, Vibra-Tech, Inc. were also present. The blast event did produce a physically noticeable ground movement at the surface near the seismograph station. The event lasted no longer than approximately 1 second.

CONCLUSIONS

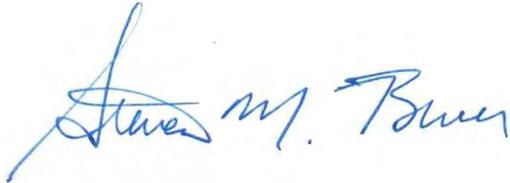
Based on our reviewed and observations made during this inspection, it is KCTE's professional opinion that the Parkville Mine is being operated by Martin Marietta in compliance with the CUP.

LIMITATIONS

This report has been prepared in accordance with generally accepted geological and geotechnical engineering practices used in this area at the time this report was written. Our professional services were performed using that degree of care and skill ordinarily exercised, under similar circumstances, by reputable geological and geotechnical engineers practicing in this locality at this time. No warranty, expressed or implied, is made.

KCTE appreciates the opportunity to be of service to you. Should you have any questions, please contact me at (913) 321-8100.

Sincerely,
Kansas City Testing & Engineering, LLC



Steven M. Bruer, R.G., P.E.

Sr Geotechnical Engineer\Engineering Geologist
Missouri Professional Engineer No. E-29050
Missouri Registered Geologist No. 2008012100



Attachments: A – Conditional Use Permit
B – Peak Particle Velocity Data (January 1, 2015 to April 25, 2016)



ATTACHMENT A

Conditional Use Permit

BILL NO. 1928

ORDINANCE NO. 1913

AN ORDINANCE ACCEPTING THE MINE DEVELOPMENT PLAN SUBMITTED UNDER THE PROVISIONS OF THE CONDITIONAL USE PERMIT ISSUED TO PARK COLLEGE BY PARKVILLE ORDINANCE NO. 827.

WHEREAS a Conditional Use Permit was issued by the Board of Alderman of the City of PARKVILLE to the Board of Trustees of Park College by Ordinance No. 827 to permit limestone extraction and processing operations on property more particularly described in Exhibit A to the Conditional Use Permit.

BE IT ORDAINED BY THE BOARD OF ALDERMEN OF THE CITY OF PARKVILLE, MISSOURI AS FOLLOWS:

Section 1. The Conditional Use Permit ("CUP") issued under Ordinance No. 827 is in full force and effect and unmodified.

Section 2. The 2000 Mine Development Plan prepared by Lalit Bhatnagar, P.E., CHMM, (the "2000 Mine Development Plan"), a copy of which is filed in the office of the City Administrator of the City of Parkville, Missouri (the "City") is hereby accepted as the Mine Development Plan in accordance with the provisions of the CUP.

Section 3. For the purposes of Section 2.4 of the CUP, the Board of Trustees of Park University, its successors, licensees or lessees (any of the foregoing, the "Permittee"), as holder of the CUP, shall be deemed to have updated the 2000 Mine Development Plan annually in accordance with Ordinance 827 provided that, at the time of application for a renewal of the mine operation license required by Parkville Ordinance No. 1262, the Permittee shall submit a letter to the City in which the Permittee shall state that there has been no substantial or material change in the Mine Development Plan from the 2000 Mine Development Plan. In the event of a substantial or material change in the 2000 Mine Development Plan, the Permittee shall submit a new Mine Development Plan to the City prior to the renewal of the license.

Section 4. The 2000 Mine Development Plan is in accord with the regulations of all state and federal mining regulatory agencies. Nothing in the 2000 Mine Development Plan or the operations to be conducted by the Permittee on the property described in Exhibit A to the CUP (the "CUP Property") shall be considered an addition or structural alteration to the CUP.

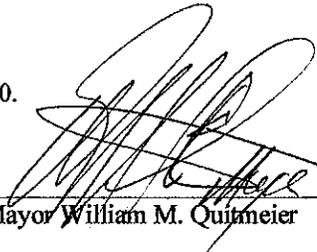
Section 5. In accordance with the provisions of the CUP, the laws of Missouri and Ordinance No. 1262, the license for mine operations shall be renewed annually upon payment of the license fee, compliance with all other requirements of the Laws of Missouri and Ordinance 1262, and the submission to the City of the letter or Mine Development Plan required by this Ordinance. The Permittee or license applicant shall be notified in writing of any instance of non-compliance and shall be provided with sixty (60) days within which to remedy any instance of non-compliance without being found in violation of Ordinance No. 1262, Ordinance No. 827, or the CUP.

Section 6. All mining operations to be conducted on the CUP Property shall be subject to periodic review by the City for the purpose of reviewing compliance with the 2000 Mine Development Plan and other applicable laws, rules and regulations governing operations; and, nothing in this Ordinance shall limit the City's ability to inspect the mining and mine operations conducted under the CUP in accordance with the provisions for inspection set forth in the CUP.

Section 7. The Board of Aldermen acknowledges that the Board of Trustees for Park University remains the Permittee under Ordinance No. 827. The operator of the mining operation, as shown in the Mine Development Plan has changed; and, subject to compliance with said Plan and with applicable ordinances, the Board of Aldermen authorizes the issuance of occupational licenses to said operator.

Section 8. To the extent of any conflict between the provisions of this Ordinance and the provisions of any other law or ordinance, the provisions of this Ordinance shall control.

PASSED this 7th day of November, 2000.



Mayor William M. Quitmeier

ATTESTED:



City Clerk Barbara J. Lance

APPROVED this 7th day of November, 2000.



Mayor William M. Quitmeier

ATTACHMENT B

Peak Particle Velocity Data – January 1, 2015 to April 25, 2016

MARTIN MARIETTA KANSAS CITY, LLC
P. O. BOX 12111
PARKVILLE, MISSOURI 64152
PARKVILLE, MISSOURI QUARRY

January 1, 2015 - April 25, 2016

Riss Lake

Shot No.	Date and Time	PPV In/Sec	Airblast dB
1	1/2/15 5:16 PM	0.020	100
2	1/2/15 5:21 PM	0.030	100
3	1/2/15 5:22 PM	0.030	100
4	1/5/15 5:26 PM	0.040	100
5	1/6/15 5:15 PM	0.025	100
6	1/8/15 5:26 PM	0.035	100
7	1/8/15 5:28 PM	0.040	100
8	1/8/15 5:29 PM	0.030	100
9	1/9/15 5:18 PM	0.020	100
10	1/9/15 5:19 PM	0.020	100
11	1/9/15 5:26 PM	0.045	100
12	1/12/15 5:23 PM	0.040	100
13	1/12/15 5:25 PM	0.035	100
14	1/12/15 5:26 PM	0.040	100
15	1/13/15 5:23 PM	0.030	100
16	1/13/15 5:25 PM	0.035	100
17	1/14/15 5:12 PM	0.020	100
18	1/15/15 5:22 PM	0.055	100
19	1/15/15 5:24 PM	0.030	100
20	1/15/15 5:25 PM	0.035	100
21	1/15/15 5:27 PM	0.045	100
22	1/16/15 5:31 PM	0.020	100
23	1/19/15 5:27 PM	0.030	100
24	1/19/15 5:29 PM	0.030	100
25	1/20/15 5:20 PM	0.030	100
26	1/20/15 5:21 PM	0.040	100
27	1/20/15 5:23 PM	0.035	100
28	1/21/15 5:07 PM	0.045	100
29	1/22/15 5:17 PM	0.025	100
30	1/22/15 5:18 PM	0.025	100
31	1/22/15 5:20 PM	0.030	100
32	1/22/15 5:22 PM	0.035	100
33	1/22/15 5:40 PM	0.020	100

34	1/23/15 5:26 PM	0.030	100
35	1/23/15 5:27 PM	0.030	100
36	1/23/15 5:28 PM	0.035	100
37	1/23/15 5:30 PM	0.035	100
38	1/26/15 5:15 PM	0.020	100
39	1/26/15 5:20 PM	0.030	100
40	1/26/15 5:21 PM	0.030	100
41	1/26/15 5:22 PM	0.040	100
42	1/27/15 5:12 PM	0.035	100
43	1/27/15 5:14 PM	0.040	100
44	1/27/15 5:34 PM	0.020	100
45	1/28/15 5:03 PM	0.030	100
46	2/3/15 5:16 PM	0.025	100
47	2/3/15 5:18 PM	0.025	100
48	2/3/15 5:21 PM	0.030	100
49	2/3/15 5:23 PM	0.030	100
50	2/4/15 5:25 PM	0.020	100
51	2/4/15 5:27 PM	0.025	100
52	2/4/15 5:29 PM	0.030	100
53	2/4/15 5:31 PM	0.030	100
54	2/4/15 5:32 PM	0.025	100
55	2/4/15 5:33 PM	0.035	100
56	2/6/15 5:18 PM	0.030	100
57	2/6/15 5:20 PM	0.025	100
58	2/6/15 5:21 PM	0.020	100
59	2/9/15 5:21 PM	0.030	100
60	2/9/15 5:22 PM	0.040	100
61	2/9/15 5:24 PM	0.025	100
62	2/10/15 5:21 PM	0.025	100
63	2/10/15 5:23 PM	0.025	100
64	2/10/15 5:24 PM	0.060	100
65	2/10/15 5:27 PM	0.025	100
66	2/10/15 5:44 PM	0.020	100
67	2/11/15 5:21 PM	0.045	100
68	2/11/15 5:23 PM	0.035	100
69	2/11/15 5:28 PM	0.020	100
70	2/17/15 5:15 PM	0.050	100
71	2/17/15 5:17 PM	0.040	100
72	2/17/15 5:19 PM	0.030	100
73	2/17/15 5:24 PM	0.030	100
74	2/18/15 5:18 PM	0.025	100

75	2/19/15 5:16 PM	0.030	100
76	2/19/15 5:18 PM	0.020	100
77	2/19/15 5:19 PM	0.020	100
78	2/20/15 5:23 PM	0.040	100
79	2/20/15 5:27 PM	0.020	100
80	2/25/15 5:19 PM	0.025	100
81	2/25/15 5:21 PM	0.025	100
82	3/2/15 5:15 PM	0.030	100
83	3/2/15 5:17 PM	0.025	100
84	3/3/15 5:17 PM	0.025	100
85	3/5/15 5:15 PM	0.040	100
86	3/5/15 5:16 PM	0.025	100
87	3/6/15 5:21 PM	0.045	100
88	3/6/15 5:22 PM	0.025	100
89	3/9/15 5:07 PM	0.025	100
90	3/10/15 5:10 PM	0.040	100
91	3/12/15 5:16 PM	0.030	100
92	3/12/15 5:17 PM	0.035	100
93	3/13/15 5:16 PM	0.025	100
94	3/16/15 5:07 PM	0.025	100
95	3/17/15 5:08 PM	0.040	100
96	3/18/15 5:11 PM	0.070	100
97	3/18/15 5:12 PM	0.045	100
98	3/20/15 5:16 PM	0.020	100
99	3/20/15 5:19 PM	0.030	100
100	3/23/15 5:18 PM	0.020	100
101	3/24/15 5:05 PM	0.030	100
102	3/24/15 5:06 PM	0.040	100
103	3/24/15 5:08 PM	0.040	100
104	3/24/15 5:25 PM	0.020	100
105	3/25/15 5:16 PM	0.060	100
106	4/1/15 5:13 PM	0.025	100
107	4/1/15 5:15 PM	0.020	100
108	4/1/15 5:19 PM	0.030	100
109	4/2/15 5:11 PM	0.035	100
110	4/9/15 5:12 PM	0.020	100
111	4/10/15 5:15 PM	0.035	100
112	4/10/15 5:16 PM	0.045	100
113	4/10/15 5:19 PM	0.020	100
114	4/13/15 5:14 PM	0.040	100
115	4/13/15 5:16 PM	0.040	100

116	4/13/15 5:17 PM	0.030	100
117	4/13/15 5:18 PM	0.030	100
118	4/14/15 5:16 PM	0.030	100
119	4/16/15 5:17 PM	0.040	100
120	4/16/15 5:19 PM	0.025	100
121	4/17/15 5:18 PM	0.040	100
122	4/17/15 5:19 PM	0.040	100
123	4/21/15 5:15 PM	0.025	100
124	4/21/15 5:15 PM	0.030	100
125	4/23/15 5:11 PM	0.020	100
126	4/23/15 5:12 PM	0.035	100
127	4/23/15 5:13 PM	0.030	100
128	4/23/15 5:14 PM	0.030	100
129	4/23/15 5:15 PM	0.040	100
130	4/23/15 5:16 PM	0.030	100
131	4/23/15 5:17 PM	0.045	100
132	4/23/15 5:19 PM	0.030	100
133	4/23/15 5:20 PM	0.040	100
134	4/24/15 5:09 PM	0.035	100
135	4/27/15 5:11 PM	0.025	100
136	4/27/15 5:12 PM	0.035	100
137	4/27/15 5:27 PM	0.020	100
138	4/28/15 5:12 PM	0.030	100
139	4/28/15 5:13 PM	0.020	100
140	4/28/15 5:14 PM	0.030	100
141	4/29/15 5:21 PM	0.045	100
142	4/29/15 5:24 PM	0.025	100
143	4/30/15 5:12 PM	0.045	100
144	4/30/15 5:14 PM	0.035	100
145	4/30/15 5:15 PM	0.030	100
146	5/1/15 5:09 PM	0.035	100
147	5/4/15 5:15 PM	0.050	100
148	5/4/15 5:17 PM	0.030	100
149	5/4/15 5:18 PM	0.030	100
150	5/4/15 5:19 PM	0.030	100
151	5/4/15 5:20 PM	0.040	100
152	5/4/15 5:22 PM	0.030	100
153	5/5/15 5:18 PM	0.040	100
154	5/5/15 5:20 PM	0.025	100
155	5/5/15 5:21 PM	0.025	100
156	5/6/15 5:13 PM	0.025	100

157	5/6/15 5:17 PM	0.030	100
158	5/6/15 5:36 PM	0.020	100
159	5/8/15 5:13 PM	0.030	100
160	5/8/15 5:15 PM	0.035	100
161	5/8/15 5:16 PM	0.025	100
162	5/11/15 5:15 PM	0.045	100
163	5/11/15 5:17 PM	0.020	100
164	5/11/15 5:17 PM	0.020	100
165	5/12/15 5:08 PM	0.020	100
166	5/12/15 5:11 PM	0.035	100
167	5/12/15 5:12 PM	0.050	100
168	5/12/15 5:14 PM	0.020	100
169	5/15/15 5:08 PM	0.050	100
170	5/15/15 5:09 PM	0.025	100
171	5/15/15 5:10 PM	0.030	100
172	5/15/15 5:11 PM	0.045	100
173	5/15/15 5:12 PM	0.025	100
174	5/18/15 5:13 PM	0.035	100
175	5/18/15 5:14 PM	0.025	100
176	5/18/15 5:15 PM	0.040	100
177	5/18/15 5:16 PM	0.020	100
178	5/19/15 5:16 PM	0.040	100
179	5/19/15 5:18 PM	0.030	100
180	5/19/15 5:20 PM	0.020	100
181	5/20/15 5:10 PM	0.030	100
182	5/20/15 5:12 PM	0.030	100
183	5/20/15 5:26 PM	0.025	100
184	5/26/15 5:15 PM	0.025	100
185	5/26/15 5:18 PM	0.020	100
186	5/28/15 5:21 PM	0.030	100
187	5/28/15 5:22 PM	0.025	100
188	5/28/15 5:23 PM	0.030	100
189	5/28/15 5:25 PM	0.035	100
190	5/29/15 5:20 PM	0.030	100
191	5/29/15 5:21 PM	0.025	100
192	5/29/15 5:22 PM	0.045	100
193	5/29/15 5:23 PM	0.025	100
194	5/29/15 5:25 PM	0.040	100
195	6/1/15 5:07 PM	0.025	100
196	6/1/15 5:08 PM	0.030	100
197	6/1/15 5:09 PM	0.035	100

198	6/1/15 5:10 PM	0.025	100
199	6/2/15 5:44 PM	0.020	0
200	6/2/15 5:45 PM	0.030	0
201	6/2/15 5:48 PM	0.025	0
202	6/3/15 5:13 PM	0.025	0
203	6/3/15 5:14 PM	0.030	0
204	6/3/15 5:16 PM	0.045	100
205	6/3/15 5:31 PM	0.020	0
206	6/3/15 5:32 PM	0.020	0
207	6/5/15 5:20 PM	0.035	0
208	6/8/15 5:14 PM	0.030	0
209	6/8/15 5:15 PM	0.030	0
210	6/8/15 5:17 PM	0.025	0
211	6/8/15 5:18 PM	0.035	0
212	6/9/15 5:21 PM	0.020	0
213	6/10/15 5:24 PM	0.030	0
214	6/10/15 5:25 PM	0.045	100
215	6/10/15 5:45 PM	0.025	0
216	6/11/15 5:17 PM	0.030	0
217	6/11/15 5:18 PM	0.035	0
218	6/11/15 5:19 PM	0.025	0
219	6/11/15 5:21 PM	0.040	0
220	6/16/15 5:16 PM	0.020	0
221	6/16/15 5:31 PM	0.020	0
222	6/17/15 5:26 PM	0.030	0
223	6/17/15 5:27 PM	0.040	100
224	6/17/15 5:29 PM	0.040	0
225	6/17/15 5:30 PM	0.030	0
226	6/18/15 5:13 PM	0.040	0
227	6/18/15 5:14 PM	0.025	0
228	6/18/15 5:15 PM	0.025	0
229	6/18/15 5:16 PM	0.025	0
230	6/18/15 5:17 PM	0.035	0
231	6/18/15 5:20 PM	0.020	0
232	6/22/15 5:17 PM	0.045	100
233	6/23/15 5:07 PM	0.030	100
234	6/23/15 5:09 PM	0.025	0
235	6/23/15 5:11 PM	0.045	100
236	6/23/15 5:12 PM	0.030	0
237	6/25/15 5:19 PM	0.050	100
238	6/25/15 5:21 PM	0.045	0

239	6/29/15 5:17 PM	0.030	0
240	6/29/15 5:18 PM	0.040	0
241	6/29/15 5:36 PM	0.020	0
242	7/1/15 5:15 PM	0.040	100
243	7/1/15 5:17 PM	0.030	0
244	7/1/15 5:18 PM	0.040	0
245	7/1/15 5:19 PM	0.020	0
246	7/1/15 5:21 PM	0.035	0
247	7/2/15 5:06 PM	0.035	0
248	7/2/15 5:08 PM	0.030	0
249	7/2/15 5:09 PM	0.030	0
250	7/10/15 5:30 PM	0.020	0
251	7/10/15 5:31 PM	0.025	0
252	7/10/15 5:33 PM	0.020	0
253	7/10/15 5:34 PM	0.025	0
254	7/10/15 5:37 PM	0.030	100
255	7/10/15 5:39 PM	0.030	100
256	7/10/15 5:39 PM	0.045	100
257	7/13/15 5:21 PM	0.025	0
258	7/13/15 5:23 PM	0.020	0
259	7/13/15 5:25 PM	0.025	0
260	7/13/15 5:25 PM	0.025	0
261	7/15/15 5:22 PM	0.030	0
262	7/15/15 5:23 PM	0.025	0
263	7/15/15 5:25 PM	0.030	0
264	7/17/15 5:13 PM	0.020	0
265	7/17/15 5:14 PM	0.020	0
266	7/17/15 5:15 PM	0.030	0
267	7/17/15 5:18 PM	0.030	0
268	7/17/15 5:19 PM	0.040	100
269	7/17/15 5:20 PM	0.040	0
270	7/20/15 5:14 PM	0.040	100
271	7/20/15 5:15 PM	0.030	0
272	7/20/15 5:16 PM	0.035	0
273	7/22/15 5:19 PM	0.040	0
274	7/22/15 5:21 PM	0.020	0
275	7/22/15 5:22 PM	0.020	0
276	7/23/15 5:21 PM	0.035	0
277	7/23/15 5:22 PM	0.040	0
278	7/28/15 5:21 PM	0.025	0
279	7/28/15 5:22 PM	0.030	0

280	7/28/15 5:24 PM	0.035	0
281	7/29/15 5:15 PM	0.035	0
282	7/29/15 5:17 PM	0.040	0
283	7/29/15 5:18 PM	0.035	0
284	8/3/15 5:18 PM	0.030	0
285	8/3/15 5:19 PM	0.020	0
286	8/3/15 5:21 PM	0.040	0
287	8/3/15 5:22 PM	0.035	0
288	8/3/15 5:35 PM	0.020	0
289	8/4/15 5:05 PM	0.025	0
290	8/4/15 5:09 PM	0.040	0
291	8/4/15 5:10 PM	0.045	0
292	8/5/15 5:12 PM	0.040	0
293	8/6/15 5:19 PM	0.035	0
294	8/6/15 5:20 PM	0.035	0
295	8/6/15 5:21 PM	0.050	0
296	8/6/15 5:22 PM	0.040	0
297	8/6/15 5:23 PM	0.045	0
298	8/10/15 5:40 PM	0.020	0
299	8/10/15 5:51 PM	0.030	0
300	8/10/15 5:53 PM	0.050	100
301	8/11/15 5:16 PM	0.030	0
302	8/11/15 5:18 PM	0.040	0
303	8/11/15 5:19 PM	0.045	0
304	8/11/15 5:21 PM	0.040	0
305	8/11/15 5:22 PM	0.025	0
306	8/13/15 5:25 PM	0.020	0
307	8/13/15 5:26 PM	0.030	0
308	8/13/15 5:27 PM	0.035	0
309	8/13/15 5:29 PM	0.040	100
310	8/13/15 5:31 PM	0.045	100
311	8/17/15 5:08 PM	0.025	0
312	8/17/15 5:23 PM	0.020	0
313	8/17/15 5:26 PM	0.020	0
314	8/18/15 5:12 PM	0.030	0
315	8/18/15 5:14 PM	0.035	100
316	8/18/15 5:15 PM	0.040	100
317	8/18/15 5:17 PM	0.045	100
318	8/18/15 5:18 PM	0.060	100
319	8/19/15 5:07 PM	0.060	100
320	8/19/15 5:08 PM	0.035	0

321	8/19/15 5:09 PM	0.035	0
322	8/21/15 5:14 PM	0.035	0
323	8/21/15 5:15 PM	0.035	0
324	8/21/15 5:16 PM	0.040	0
325	8/21/15 5:18 PM	0.050	100
326	8/25/15 5:19 PM	0.030	0
327	8/25/15 5:21 PM	0.030	0
328	8/25/15 5:22 PM	0.030	0
329	8/25/15 5:23 PM	0.045	0
330	8/25/15 5:25 PM	0.025	0
331	8/25/15 5:26 PM	0.035	0
332	8/26/15 5:23 PM	0.040	0
333	8/26/15 5:24 PM	0.025	0
334	8/26/15 5:25 PM	0.025	0
335	8/26/15 5:27 PM	0.055	100
336	8/27/15 5:18 PM	0.025	0
337	8/27/15 5:19 PM	0.025	0
338	8/27/15 5:20 PM	0.035	0
339	8/27/15 5:21 PM	0.035	0
340	8/28/15 5:20 PM	0.035	0
341	8/28/15 5:21 PM	0.025	0
342	8/31/15 5:07 PM	0.025	0
343	8/31/15 5:10 PM	0.045	0
344	8/31/15 5:12 PM	0.040	0
345	8/31/15 5:13 PM	0.040	0
346	8/31/15 5:14 PM	0.035	0
347	8/31/15 5:14 PM	0.030	0
348	9/1/15 5:19 PM	0.025	0
349	9/1/15 5:20 PM	0.035	0
350	9/3/15 5:15 PM	0.025	0
351	9/3/15 5:15 PM	0.020	0
352	9/3/15 5:16 PM	0.035	0
353	9/3/15 5:18 PM	0.045	0
354	9/3/15 5:21 PM	0.035	0
355	9/4/15 5:11 PM	0.030	0
356	9/4/15 5:12 PM	0.030	0
357	9/4/15 5:13 PM	0.030	0
358	9/4/15 5:14 PM	0.035	0
359	9/8/15 5:17 PM	0.020	0
360	9/9/15 5:16 PM	0.040	0
361	9/9/15 5:18 PM	0.050	100

362	9/9/15 5:19 PM	0.040	100
363	9/11/15 5:09 PM	0.025	0
364	9/11/15 5:10 PM	0.020	0
365	9/11/15 5:11 PM	0.025	0
366	9/11/15 5:12 PM	0.020	0
367	9/11/15 5:13 PM	0.030	0
368	9/11/15 5:14 PM	0.030	0
369	9/11/15 5:15 PM	0.030	0
370	9/11/15 5:17 PM	0.045	100
371	9/11/15 5:17 PM	0.030	0
372	9/15/15 5:13 PM	0.020	0
373	9/15/15 5:16 PM	0.035	0
374	9/15/15 5:17 PM	0.035	0
375	9/16/15 5:19 PM	0.055	100
376	9/18/15 5:21 PM	0.050	0
377	9/18/15 5:22 PM	0.040	100
378	9/18/15 5:23 PM	0.035	0
379	9/18/15 5:24 PM	0.050	0
380	9/21/15 5:20 PM	0.030	0
381	9/21/15 5:21 PM	0.025	0
382	9/21/15 5:23 PM	0.030	0
383	9/22/15 5:15 PM	0.050	0
384	9/24/15 5:15 PM	0.030	0
385	9/24/15 5:16 PM	0.035	0
386	9/25/15 5:05 PM	0.020	0
387	9/25/15 5:06 PM	0.020	0
388	9/28/15 5:12 PM	0.040	0
389	9/28/15 5:15 PM	0.035	0
390	9/30/15 5:06 PM	0.055	100
391	9/30/15 5:08 PM	0.035	0
392	9/30/15 5:11 PM	0.025	0
393	9/30/15 5:12 PM	0.030	0
394	10/1/15 5:13 PM	0.035	0
395	10/1/15 5:15 PM	0.035	0
396	10/1/15 5:16 PM	0.030	0
397	10/2/15 5:16 PM	0.040	0
398	10/2/15 5:18 PM	0.045	100
399	10/2/15 5:19 PM	0.045	0
400	10/2/15 5:20 PM	0.040	0
401	10/2/15 5:22 PM	0.055	100
402	10/5/15 5:16 PM	0.030	0

403	10/5/15 5:18 PM	0.040	0
404	10/5/15 5:19 PM	0.030	0
405	10/6/15 5:16 PM	0.050	100
406	10/6/15 5:17 PM	0.030	0
407	10/6/15 5:19 PM	0.035	0
408	10/6/15 5:19 PM	0.045	0
409	10/7/15 5:20 PM	0.030	0
410	10/7/15 5:22 PM	0.045	0
411	10/7/15 5:23 PM	0.040	0
412	10/7/15 5:25 PM	0.030	0
413	10/7/15 5:26 PM	0.040	0
414	10/8/15 5:14 PM	0.025	0
415	10/8/15 5:17 PM	0.020	0
416	10/8/15 5:17 PM	0.030	0
417	10/8/15 5:19 PM	0.035	100
418	10/9/15 5:08 PM	0.040	100
419	10/12/15 5:20 PM	0.045	100
420	10/12/15 5:21 PM	0.025	0
421	10/12/15 5:22 PM	0.025	0
422	10/12/15 5:23 PM	0.025	0
423	10/12/15 5:25 PM	0.040	0
424	10/13/15 5:12 PM	0.035	0
425	10/13/15 5:13 PM	0.030	0
426	10/14/15 5:12 PM	0.030	0
427	10/14/15 5:13 PM	0.030	0
428	10/14/15 5:14 PM	0.035	0
429	10/14/15 5:15 PM	0.035	0
430	10/14/15 5:16 PM	0.035	0
431	10/15/15 5:12 PM	0.035	0
432	10/15/15 5:14 PM	0.025	0
433	10/15/15 5:16 PM	0.025	0
434	10/16/15 5:12 PM	0.045	100
435	10/16/15 5:14 PM	0.025	0
436	10/16/15 5:16 PM	0.025	0
437	10/19/15 5:09 PM	0.050	0
438	10/19/15 5:10 PM	0.035	0
439	10/21/15 5:15 PM	0.035	0
440	10/21/15 5:17 PM	0.030	0
441	10/21/15 5:18 PM	0.025	0
442	10/21/15 5:19 PM	0.045	0
443	10/22/15 5:09 PM	0.035	0

444	10/22/15 5:11 PM	0.060	0
445	10/26/15 5:12 PM	0.035	0
446	10/26/15 5:13 PM	0.055	0
447	10/26/15 5:14 PM	0.040	0
448	10/27/15 5:41 PM	0.040	0
449	10/27/15 5:42 PM	0.040	0
450	10/28/15 5:11 PM	0.045	100
451	10/28/15 5:12 PM	0.025	0
452	10/28/15 5:14 PM	0.025	0
453	10/28/15 5:28 PM	0.025	0
454	10/29/15 5:25 PM	0.025	0
455	10/29/15 5:26 PM	0.025	0
456	10/29/15 5:28 PM	0.030	0
457	10/30/15 5:12 PM	0.050	100
458	10/30/15 5:13 PM	0.035	0
459	10/30/15 5:15 PM	0.040	0
460	10/30/15 5:16 PM	0.030	0
461	11/2/15 5:27 PM	0.040	0
462	11/2/15 5:28 PM	0.030	0
463	11/2/15 5:29 PM	0.030	0
464	11/3/15 5:10 PM	0.050	100
465	11/3/15 5:11 PM	0.045	0
466	11/4/15 5:09 PM	0.020	0
467	11/4/15 5:11 PM	0.035	0
468	11/4/15 5:12 PM	0.030	0
469	11/5/15 5:12 PM	0.020	0
470	11/5/15 5:12 PM	0.030	0
471	11/5/15 5:14 PM	0.030	0
472	11/5/15 5:15 PM	0.040	0
473	11/5/15 5:16 PM	0.035	0
474	11/6/15 5:09 PM	0.030	0
475	11/9/15 5:11 PM	0.050	100
476	11/9/15 5:12 PM	0.040	0
477	11/9/15 5:13 PM	0.035	0
478	11/9/15 5:14 PM	0.040	0
479	11/9/15 5:15 PM	0.030	0
480	11/9/15 5:16 PM	0.030	100
481	11/10/15 5:09 PM	0.020	0
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484	11/11/15 5:11 PM	0.020	0

485	11/11/15 5:14 PM	0.040	100
486	11/11/15 5:16 PM	0.050	100
487	11/11/15 5:17 PM	0.025	110
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489	11/12/15 5:12 PM	0.030	100
490	11/12/15 5:14 PM	0.025	0
491	11/13/15 5:10 PM	0.045	100
492	11/13/15 5:11 PM	0.030	0
493	11/13/15 5:12 PM	0.035	0
494	11/16/15 5:10 PM	0.030	0
495	11/16/15 5:12 PM	0.020	0
496	11/16/15 5:13 PM	0.030	0
497	11/16/15 5:15 PM	0.030	0
498	11/17/15 5:11 PM	0.040	0
499	11/18/15 5:09 PM	0.025	0
500	11/18/15 5:11 PM	0.040	0
501	11/18/15 5:12 PM	0.030	0
502	11/20/15 5:09 PM	0.025	0
503	11/20/15 5:10 PM	0.030	0
504	11/20/15 5:11 PM	0.025	0
505	11/20/15 5:12 PM	0.040	0
506	11/20/15 5:13 PM	0.040	0
507	11/20/15 5:15 PM	0.030	0
508	11/23/15 5:09 PM	0.035	0
509	11/23/15 5:10 PM	0.025	0
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511	11/23/15 5:13 PM	0.030	0
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517	11/30/15 5:05 PM	0.020	0
518	11/30/15 5:09 PM	0.020	0
519	11/30/15 5:10 PM	0.030	0
520	11/30/15 5:11 PM	0.035	100
521	12/1/15 5:05 PM	0.035	0
522	12/1/15 5:06 PM	0.025	0
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532	12/4/15 5:10 PM	0.040	0
533	12/4/15 5:12 PM	0.040	0
534	12/7/15 5:08 PM	0.025	0
535	12/7/15 5:09 PM	0.030	0
536	12/7/15 5:10 PM	0.045	100
537	12/7/15 5:12 PM	0.045	100
538	12/8/15 5:09 PM	0.035	0
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540	12/8/15 5:12 PM	0.025	0
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576	12/23/15 5:14 PM	0.030	0
577	12/23/15 5:15 PM	0.030	100
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583	4/1/16 5:10 PM	0.020	0
584	4/5/16 5:23 PM	0.040	100
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586	4/6/16 5:11 PM	0.025	0
587	4/6/16 5:12 PM	0.040	100
588	4/7/16 5:11 PM	0.025	100
589	4/7/16 5:13 PM	0.025	0
590	4/7/16 5:13 PM	0.025	0
591	4/11/16 5:10 PM	0.035	100
592	4/12/16 5:20 PM	0.025	100
593	4/12/16 5:21 PM	0.025	0
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595	4/12/16 5:23 PM	0.040	0
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597	4/13/16 5:12 PM	0.020	0
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603	4/18/16 5:09 PM	0.030	100
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605	4/18/16 5:12 PM	0.030	0
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607	4/18/16 5:15 PM	0.045	100

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611	4/21/16 5:11 PM	0.020	100
612	4/21/16 5:13 PM	0.035	100
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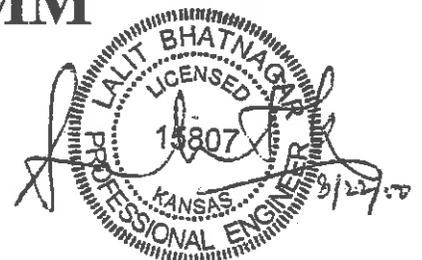
DEVELOPMENT PLAN

for

PARKVILLE MINE
7600 West Missouri Hwy. 9
Parkville, Platte County, MO 64152
(816) 741-2550

Prepared By:

Martin Marietta Materials, Inc.
Lalit Bhatnagar, P.E., CHMM
11252 Aurora Avenue
Des Moines, IA 50322
(515) 254-0030



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Section I

Introduction

Parkville City Ordinance Number 827 authorized the granting of a Conditional Use Permit (hereinafter referred to as C.U.P.) on March 17, 1981, to the Board of Trustees of Park College, applicant, and its licensees or lessees, to permit limestone extractions and processing operations upon and from the following described property in accordance with Section 17 of the zoning ordinance for the City of Parkville, Missouri.

The subject real estate property (hereinafter referred to as C.U.P. area) located in the City of Parkville, Platte County, Missouri, is described as follows:

All that part of Section 36, Township 51 North, Range 34 West, and that part of Section 1, Township 50 North, Range 34 West, to the extent that each tract lies North of the North right of way line of Highway 9, EXCEPT those parts thereof described as follows:

- (1) "Beginning at the Southwest corner of Lot 14, Block 4, Misty Wood (1st Plat), a subdivision of land in Platte County, Missouri, said point being on the East line of said Section 36; thence Southerly along said East line to the Southeast corner of said Section 36; thence Northwesterly along a line that makes a Northwesterly angle of 65 degrees, 00 minutes, 00 seconds with said East line, a distance of 440.00 feet; thence Northeasterly along a line that deflects to the right 87 degrees, 00 minutes, 00 seconds of the last described course, a distance of 460.00 feet; thence Northeasterly to the point of beginning", and
- (2) "Beginning at a point in the North line of the NE $\frac{1}{4}$ of the NE $\frac{1}{4}$ of said Section 1, which is 206.48 feet East of the Northwest corner thereof; thence Southwesterly along a line that makes a Southwest angle of 65°-56'-50" with said North line 49.37 feet to a point on the Northeasterly right-of-way line of Missouri State Highway No. 45 (as it existed on February 9, 1950, the date of the deed from The Board of Trustees of Park College to Standard Oil Company); thence Southeasterly at right angles from the last described course and said Northeasterly right-of-way line 250 feet to a point 25 feet from the center line of Coffey Road; thence Northeasterly at right angles from the last described course 110 feet; thence Northwesterly at right angles from the last described course 250 feet; thence Southwesterly at right angles from the last described course 60.63 feet to the point of beginning; and
- (3) "Beginning at the point of intersection of the Northerly right of way line of Missouri State Highway No. 9 with the East line of said Section 1; thence Northwesterly along said Northerly right of way line to a point 170.00 feet Northeasterly of and opposite Station 256+65 on the survey centerline of said Missouri State Highway No. 9; thence Southwesterly continuing along said Northerly right of way line to a point 80 feet Northeasterly of and opposite said Station 256+65; thence Northwesterly continuing along said Northerly right of way line a distance of 135.00 feet; thence Northeasterly to a point on the East line of said Section 1, 50.00 feet South of the Northeast corner thereof; thence Southerly along said East line to the point of beginning."

Please refer to the attached Figure 1 (Site Map) for further details of the C.U.P. area.

Section 2 of the C.U.P. requires preparation of a "Mine Development Plan" in accordance with the regulations of all State and Federal Mining Regulatory Agencies. Mine Development Plan includes a Mine Plan, Master Traffic Plan, Mine Related Surface Development Plan, Pollution Abatement Plan and Standards for Construction of all Ventilation Shafts or Holes. This required information is presented in the following eleven (11) sections of this report:

Section II (Topographic Site Plan):	Satisfies C.U.P. Section 2(4)(A)(1)
Section III (Proposed Mine Layout):	Satisfies C.U.P. Section 2(4)(A)(2)
Section IV (Geologic Report):	Satisfies C.U.P. Section 2(4)(A)(3)
Section V (Proposed Mine Design):	Satisfies C.U.P. Section 2(4)(A)(4)
Section VI (Proposed Blasting Procedures):	Satisfies C.U.P. Section 2(4)(A)(5)
Section VII (Protection of Riss Lake Dam):	Satisfies C.U.P. Section 2(4)(A)(6)
Section VIII (Mine Management Plan):	Satisfies C.U.P. Section 2(4)(A)(7)
Section IX (Master Traffic Plan):	Satisfies C.U.P. Section 2(4)(B)
Section X (Mine Related Surface Development Plan):	Satisfies C.U.P. Section 2(4)(C)
Section XI (Pollution Abatement Plan):	Satisfies C.U.P. Section 2(4)(D)
Section XII (Standards for Ventilation Shafts or Holes):	Satisfies C.U.P. Section 2(4)(E)

This "Mine Development Plan" is prepared from the information gathered during the numerous on-site visits of the Parkville Mine, review of available geological and hydrogeological studies of the Parkville Mine area, and verbal and written first-hand operational experience of several technical experts and Parkville Mine managers. This document is a **long-term plan** for the actual mining and mine related operations in accordance with all State and Regulatory Agencies, and therefore is not anticipated to change substantially from year to year. Once this Mine Development Plan is approved by the Board of Aldermen, the Board of Trustees for Park College ("Trustees") will periodically update this plan only in the event of substantial change; provided, however, that this Mine Development Plan and operations pursuant thereto shall be subject to periodic review by the City for the purpose of reviewing compliance with the Mine Development Plan and other applicable rules and regulations governing operations. It is our further understanding that by approving this Mine Development Plan, the City has determined that any operational or marketing changes that have occurred since the submission of the original Mine Development Plan, and any changes projected in this Mine Development Plan will not constitute additions or structural alterations to the Conditional Use Permit approved by the Board of Aldermen for the Parkville Mine.

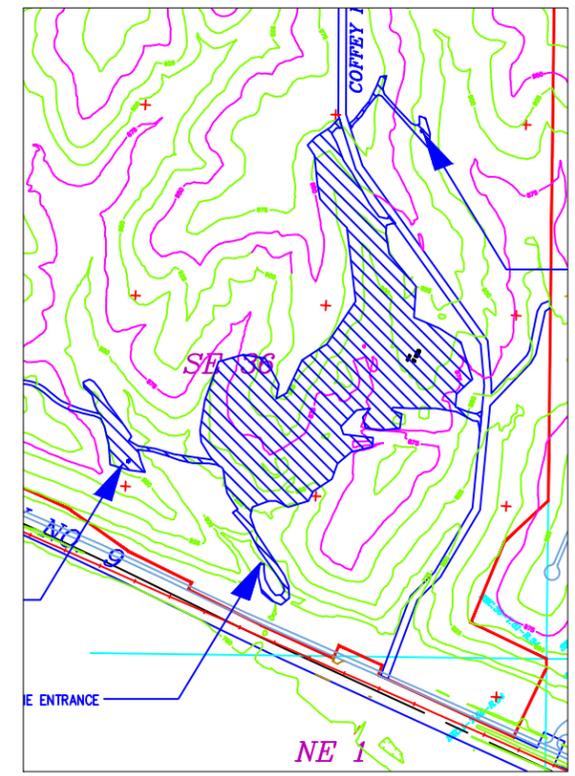
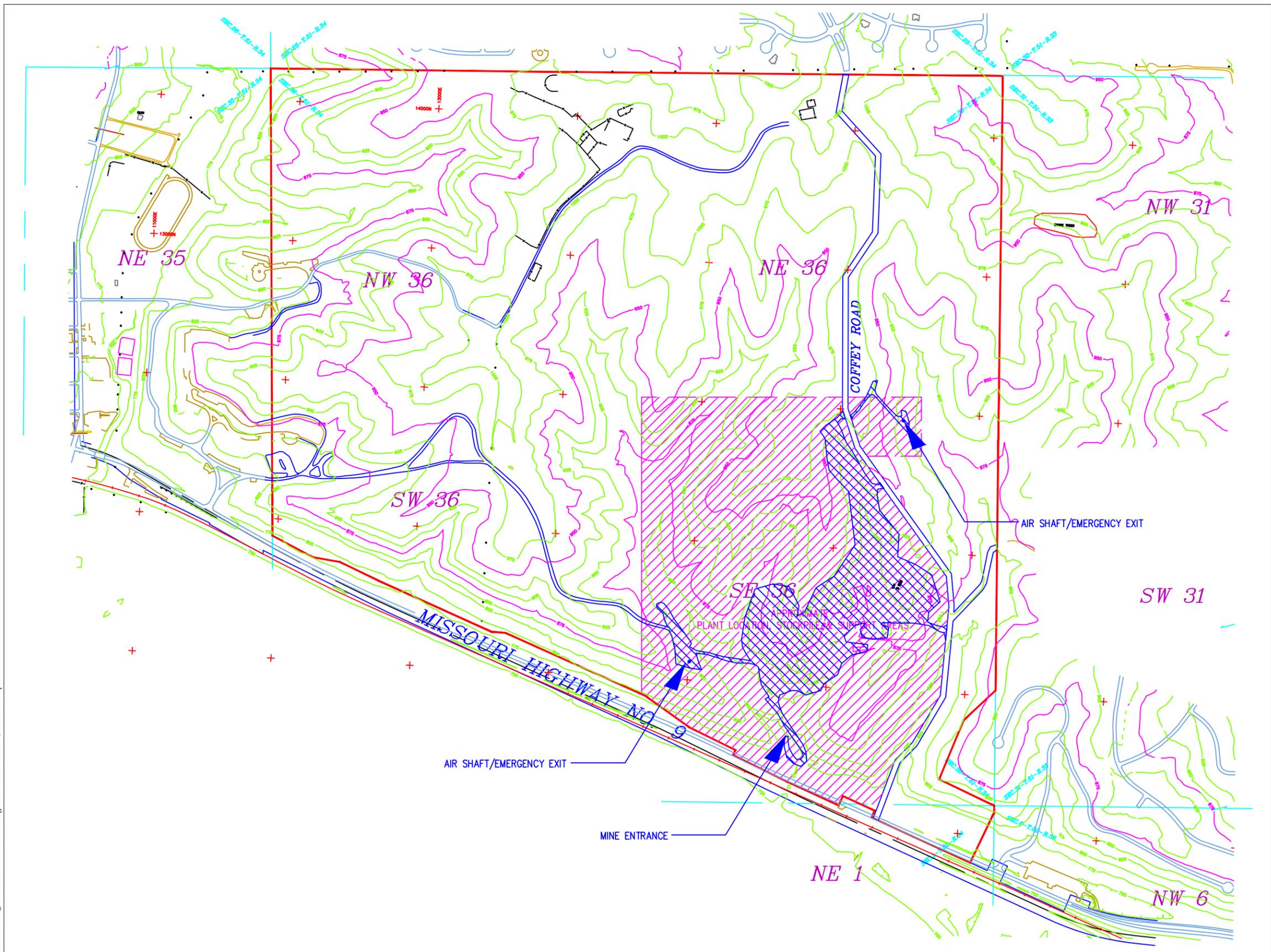
Trustees and their lessees/licensees grant authorized public officials right of entry and investigation during normal business hours. Notwithstanding the provisions of Ordinance No. 827 limiting the cost of inspection to \$300 per inspection, Trustees and their lessees/licensees agree to pay for the inspections required by Ordinance No. 827 at not more than \$1500 per inspection (as opposed to \$300 per inspection). Trustees or their lessees and licensees shall be entitled to annual renewal of the license required by Chapter 635 of the Municipal Code of the City of Parkville unless, after notice and hearing, it has been established that there have been material violations of the Mine Development Plan or of other applicable rules and regulations pertaining to operations.

Section II

Topographic Site Plan

The surface facilities for Parkville Mine are currently located in and around the part of the C.U.P. area broadly defined as SE $\frac{1}{4}$ of Section 36, Township 51 North, Range 34 West. Attached Figure 2 (Topographic Site Plan) details the roadways, point of mine access and grading for related surface facilities. This map (1"=800') covers the area of location of surface facilities for the next several years. A larger scale map is also available for review upon request. As the mining progresses during the life of the mine/quarry, some or all of these and new surface facilities could be located/relocated to other parts of the C.U.P. area.

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MINE RELATED SURFACE DEVELOPMENT AREA (1"=1000')

ALIGNMENT AND SCALE:

Scale 1"=800'

LEGEND

	Grading completed for Surface facilities
	Special Use Permit Boundary
	Mine Related Surface Development Area
	Roads and Highways
	Section details

Martin Marietta Aggregates

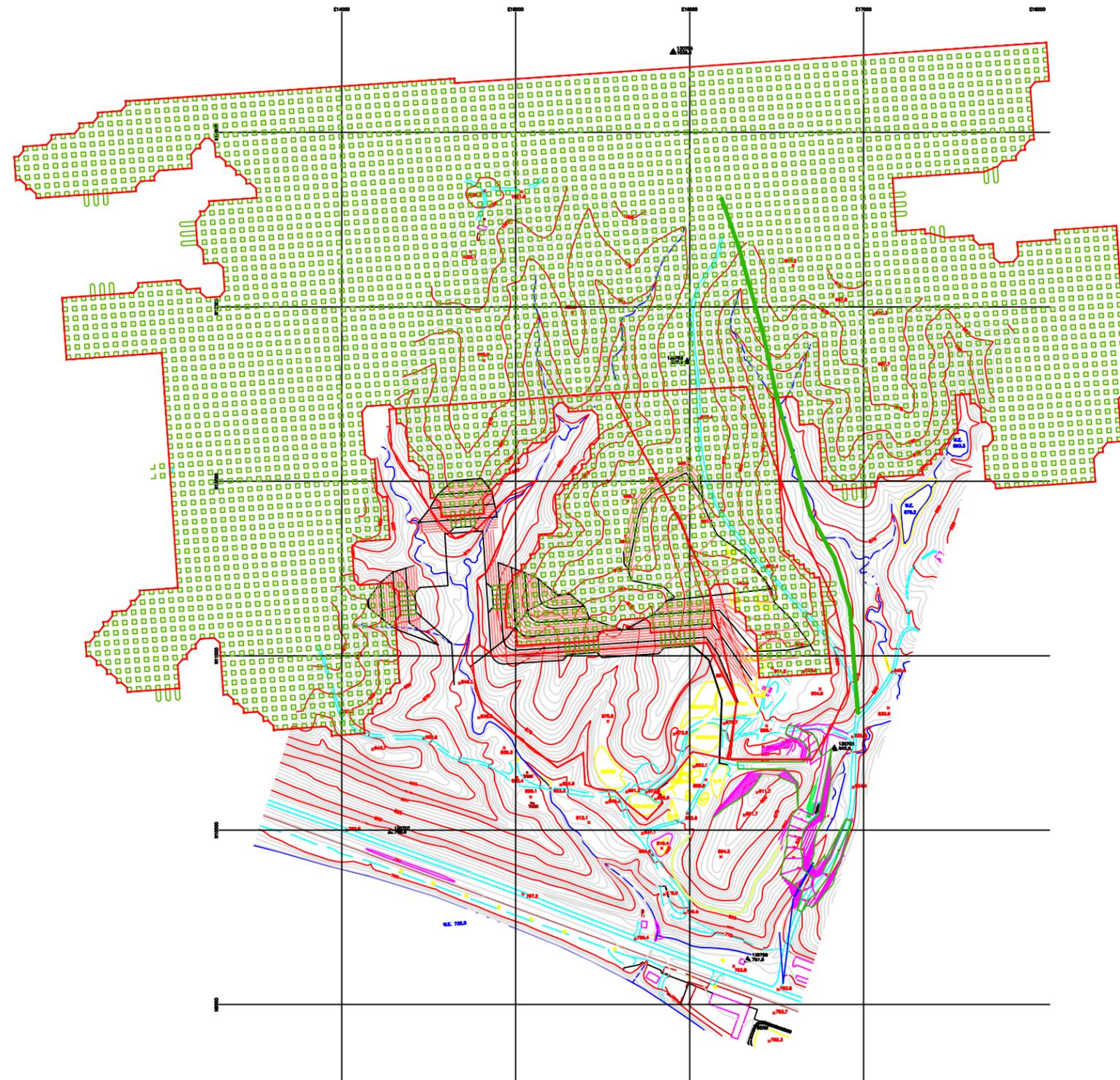
TOPOGRAPHIC SITE PLAN
 PARKVILLE MINE
 PLATTE COUNTY, MO

DRAWN BY: L. BHATNAGAR	REVIEWED BY: B. MESKIMEN	DRAWING DATE: 8/6/2000	FIGURE: FIGURE # 2
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Section III

Proposed Mine Layout

There are three (3) separate mineable limestone ledges present in the C.U.P. area. These ledges are referred to as Argentine, Winterset and Bethany Falls with Argentine being the top mineable ledge. Please refer to the attached Figure 5 (Miscellaneous Details; located in Section XII of this Mine Development Plan) for a detailed description of the generalized geologic section in the Parkville Mine area. Attached Figure 3A (Proposed Argentine Mine/Quarry Layout) not only shows the proposed pillar spacing and sizes, but also the associated surface grading and points of mine access. Parts of the completed grading and open pit quarrying of the Argentine ledge is also shown in Figure 2 of this report. The long-term Missouri Department of Natural Resources (MDNR) Mine Plan provides for open pit removal of Argentine to an East-West line believed to be sufficiently below any weathered exposure. From this entry position, multiple mine entrances can be directed outwards to the mineable areas inside the C.U.P. area. Attached Figure 3B (Proposed Bethany Falls Mine Layout) shows the pillar spacing and sizes, location of primary underground roadways for mining support and related underground and surface facilities. The final development of underground roads will depend on the needs of secondary development of the mined space. Underground haul roads can and will change to accommodate routine progress of underground mining. Proposed Winterset Mine Layout is identical to the Bethany Falls Mine Layout with pillar spacing and sizes, location of underground roadways and related underground and surface facilities practically superimposed on the Bethany Falls grid. Parts of Winterset have been mined at the foot of the Bethany Falls entry adit. The mine plan envisions mining the entire C.U.P. area on the same/similar mine grid pattern. The plan also provides for a second entry adit for mining Bethany Falls/Winterset in the C.U.P. area.



ARGENTINE OPEN PIT AND UNDERGROUND MINING PILLAR SPACING & SIZES (1"=100')

ALIGNMENT AND SCALE:

Scale 1"=800'

LEGEND

- Argentine Mining Limits/Phases
- Proposed Mine Pillar Spacing & Sizes
- Roads and Highways



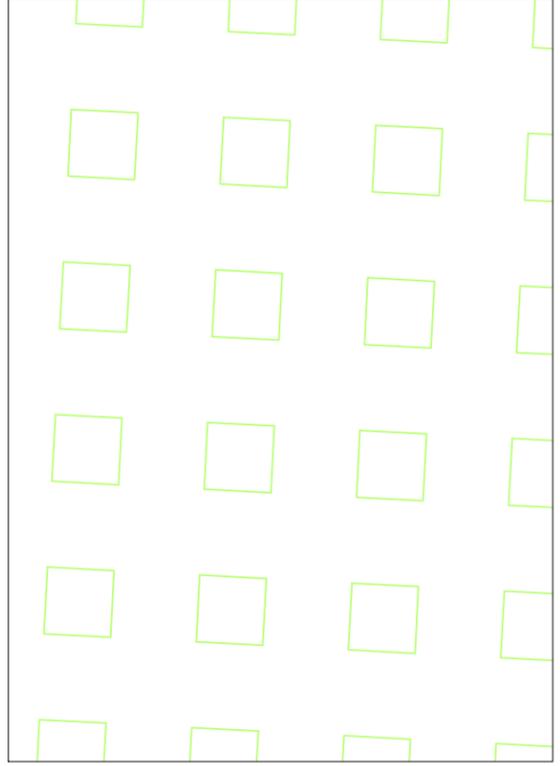
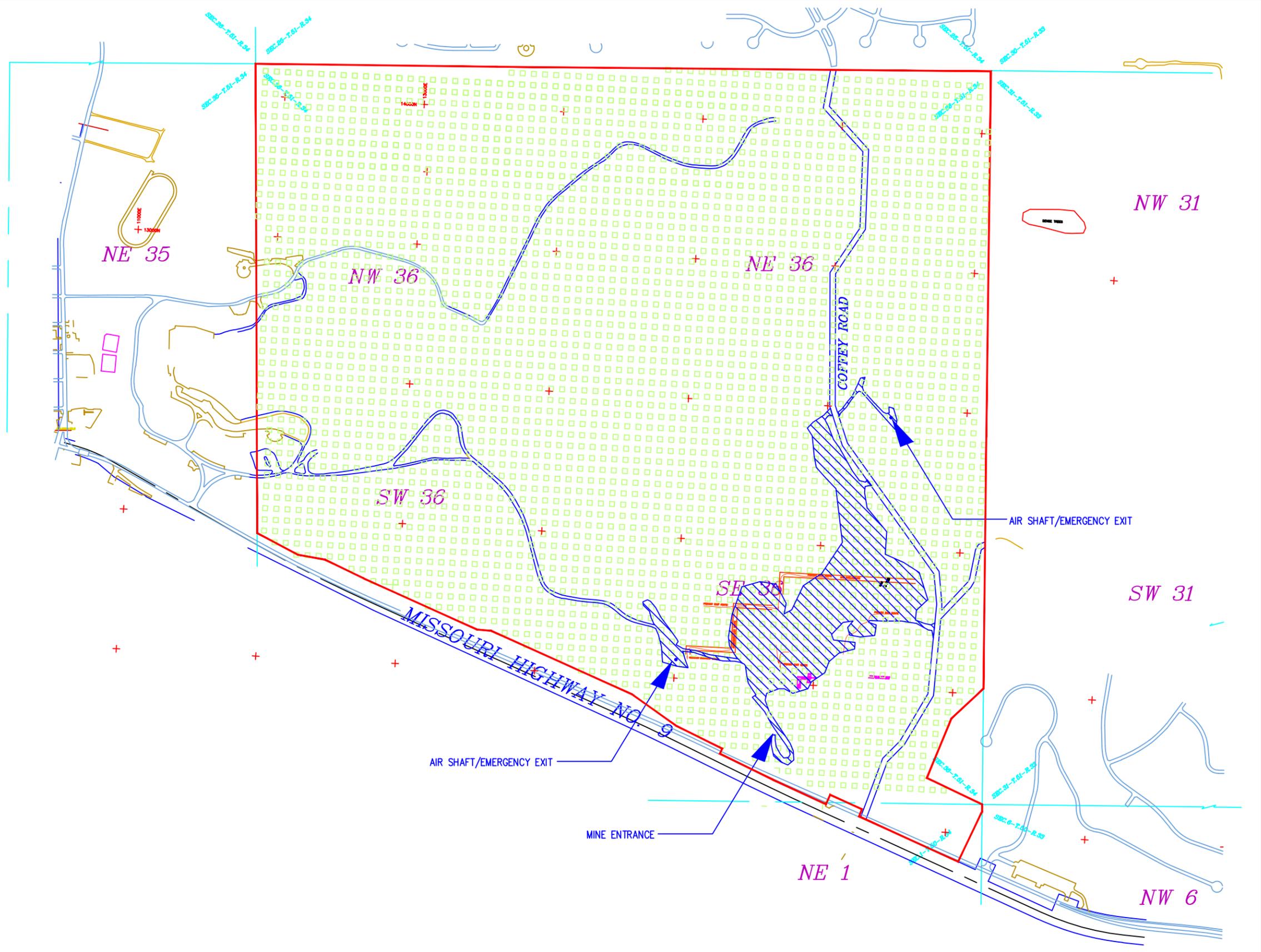
PROPOSED ARGENTINE MINE/QUARRY LAYOUT

PARKVILLE MINE

PLATTE COUNTY, MO

DRAWN BY: L. BHATNAGAR	REVIEWED BY: B. MESKIMEN	DRAWING DATE: 8/6/2000	FIGURE: FIGURE # 3A
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BETHANY FALLS PILLAR SPACING & SIZES (1"=100')

ALIGNMENT AND SCALE:

Scale 1"=800'

- LEGEND
- Mine related surface grading (Completed).
 - Special Use Permit Boundary
 - Proposed Mine Pillar Spacing & Sizes
 - Roads and Highways
 - Section details

Martin Marietta Aggregates

PROPOSED BETHANY FALLS MINE LAYOUT
 PARKVILLE MINE
 PLATTE COUNTY, MO

DRAWN BY: L. BHATNAGAR	REVIEWED BY: B. MESKIMEN	DRAWING DATE: 8/6/2000	FIGURE: FIGURE # 3B
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Section IV

Geologic Reports

Geologic reports of the C.U.P. area showing the depths of overburden above the Bethany Falls ledge, locations of core borings, boring logs and geologic sections of mine entry points will be kept on file at Martin Marietta Materials, Inc., 11252 Aurora Avenue, Des Moines, IA 50322, for viewing by the City Engineer or the Mayor and the Board of Aldermen on a confidential basis.

The "Geologic Reports" file will also include the following reports:

1. Frank C. Greene report regarding mining Bethany Falls at the Parkville Mine. Report is dated November 19, 1974.
2. Layne-Western Company drilling reports dated March 1974 and February 1975. These are appraisal reports to evaluate Bethany Falls thickness and quality.
3. Woodward-Clyde report dated 1981 details subsurface hydrology and feasibility of mining Bethany Falls at the Parkville Mine.
4. Other periodic geologic findings from day-to-day mining operations at the Parkville Mine.

Please refer to the attached Figure 5 (Miscellaneous Details; located in Section XII of this Mine Development Plan) for the generalized geologic section at the Parkville Mine.

Section V

Proposed Design of Mine

Argentine Mine

The Argentine ledge, mined at the Park College Library, was designed and constructed with relatively narrow tunnels (20 ft. to 24 ft.) connected by crosscuts at intervals appropriate for the compression joint system visible in the structure. Under the heavier overburden with uniform mining geology, a 55 ft. x 55 ft. mine grid with 25 ft. x 25 ft. pillars was used as the recommended design.

The roof was bolted using polyester resin grouted rock-bolts. Type of roof-bolting used, bolt lengths and spacing between the roof-bolts will be decided based on the mine conditions and safe mining practices. Portal faces are presplit and protected with entrance structures where necessary.

Each entry and crosscut was bolted with 58 inch #7 polyester resin grouted roof-bolts on an approximate 5 ft. x 5 ft. grid. Mine face height varied from 12 ft. to 13.5 ft. Pillar orientation is generally east-west with grid oriented parallel to the north property boundary.

Winterset Mine

The Winterset ledge was mined to a limited extent at the foot of the Bethany Falls adit. The lower 14 ft. was found to be mineable. This mining was done with the "Massive Zone" of the ledge as an exceptionally massive roof beam.

The mine geometry used the recommended pillar pattern for the Bethany Falls level (i.e., 80 ft. x 80 ft. mine grid with 35 ft. x 35 ft. pillars). Due to the massive roof beam, roof-bolting is not required. Mineable ledge is separated from the massive zone by a thin shale parting seam.

Bethany Falls Mine

The Bethany Falls ledge was initially bench mined under the Winterset level during the primary adit construction project. This allowed for entry to the Bethany Falls via multiple tunnels for better ventilation and faster mine development.

From the gallery created by benching, tunnels on an 80 ft. x 80 ft. were developed. Initial entries and crosscuts were 40 ft. wide leaving 40 ft. x 40 ft. pillars. This design is more conservative than similar Bethany Falls mines in the area with pillars having 196% more area allowing better load carrying capacities. Mine roof has been stable and no roof-bolting is required. The adjustment to the optimum mine geometry dimensions is being implemented as mining proceeds northward and westward. Mine ceiling is wavy due to lack of a clean parting seam. Mine ceiling heights vary from 12.5 ft. to 14.5 ft. Mine grid is oriented true north-south/east-west.

Extraction Rates

In developing each mine ledge, extraction rates and ratio for extraction versus pillar area are traditional and somewhat conservative for room and pillar mining. Total extraction rates for the Parkville Mine are anticipated to be approximately 1.5 Million Tons per Year. The processing and support equipment and facilities will be upgraded, revamped and/or supplemented as needed. Total extraction rates are further dependent on the market conditions and can routinely vary in response to the actual, perceived and/or anticipated market needs.

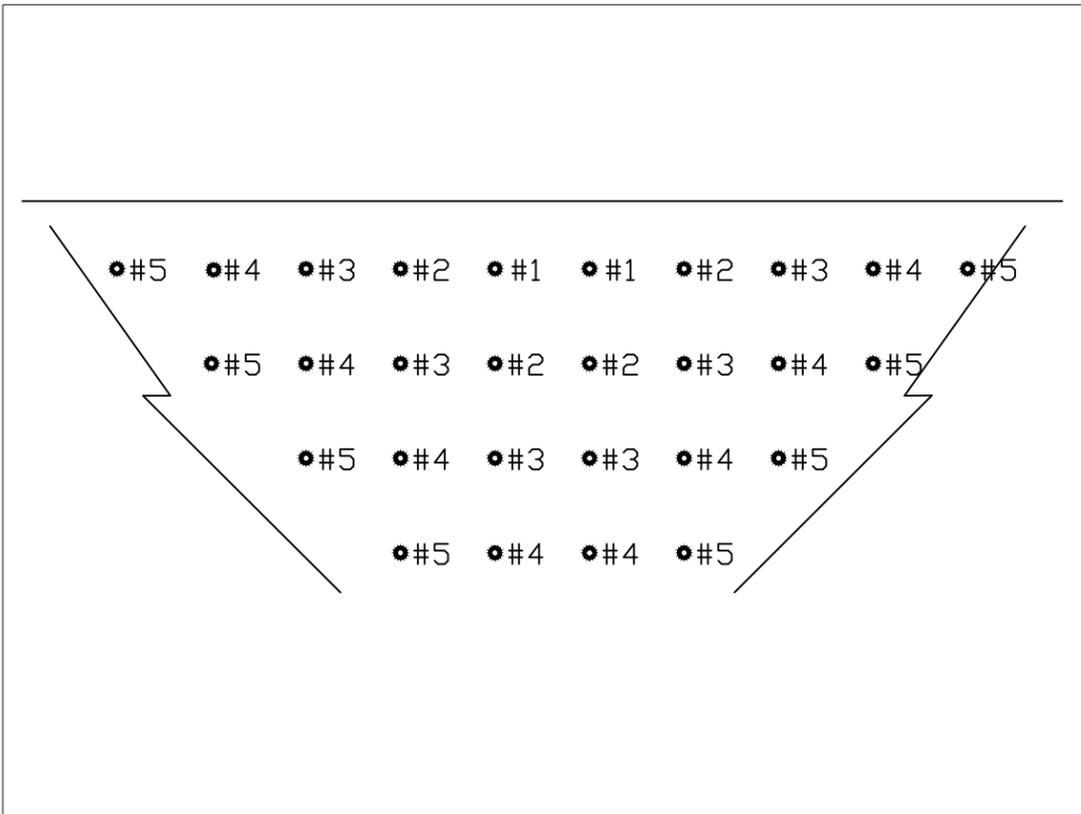
Section VI

Proposed Blasting Procedures

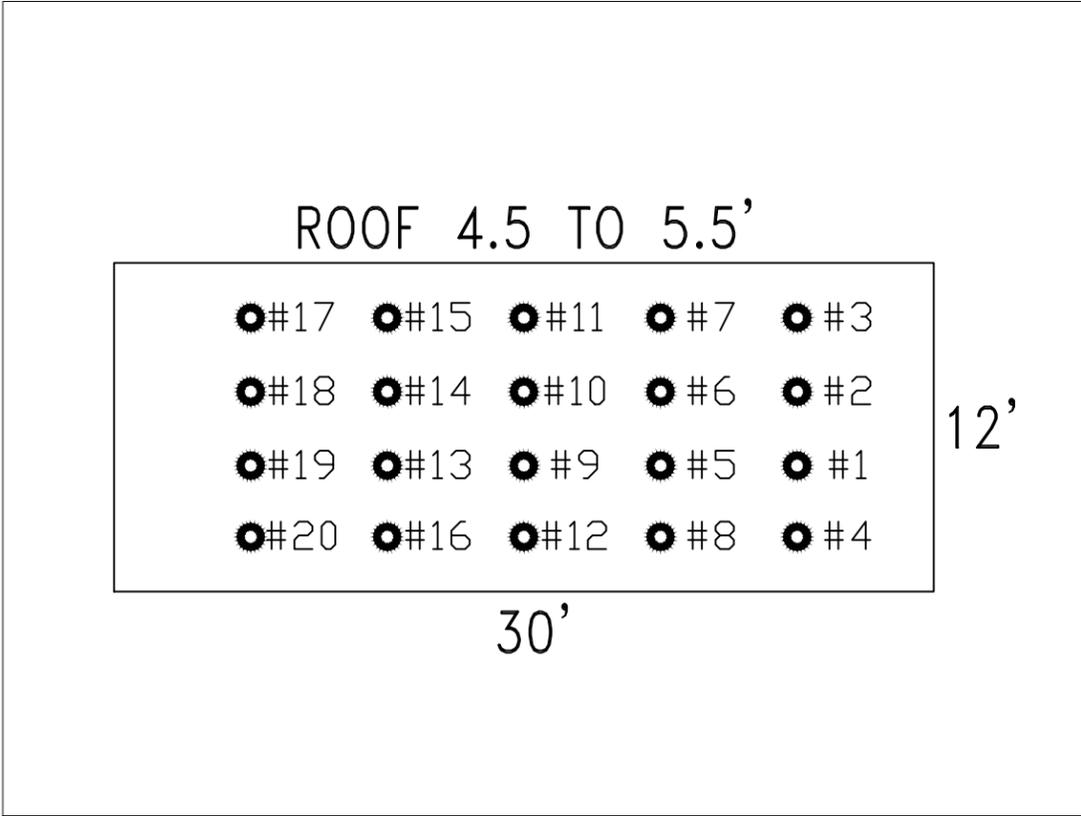
The proposed blasting procedures for both surface and underground mining are illustrated using typical drill hole dimensions and charge delay patterns for rock breakage at the mine. Please refer to attached Figure 4 (Proposed Drilling and Blasting Patterns). Variations in blast design and component selection are routinely made whenever the physical requirements of the immediate blast site indicate adjustments are needed to achieve optimum breakage, minimal backbreak, minimal seismic vibration and airblast reduction. Blast designs follow conventional procedures which are designed to create a pattern of individual controlled detonations in a multiple hole blast. ANFO is the principal explosive, initiated by caps and primers. Watergel explosives or slurries are used in wet holes. Surface holes are stemmed using clean broken rock while underground holes are air decked. Secondary blasting is used as needed.

Seismic recording of all blasts is taken at a safe location, based upon advice from the seismologist. The Company voluntarily agrees not to use blast designs which exceed the previously recommended and locally accepted upper limit of peak particle velocity to be no greater than 1.55 inches per second measured in the soil at the surface of the ground at the Riss Lake Dam, downtown Parkville and the Park College property boundary. Blast holes are detonated using delays that conform to the U.S. Bureau of Mines standard of 8 millisecond or more between delays.

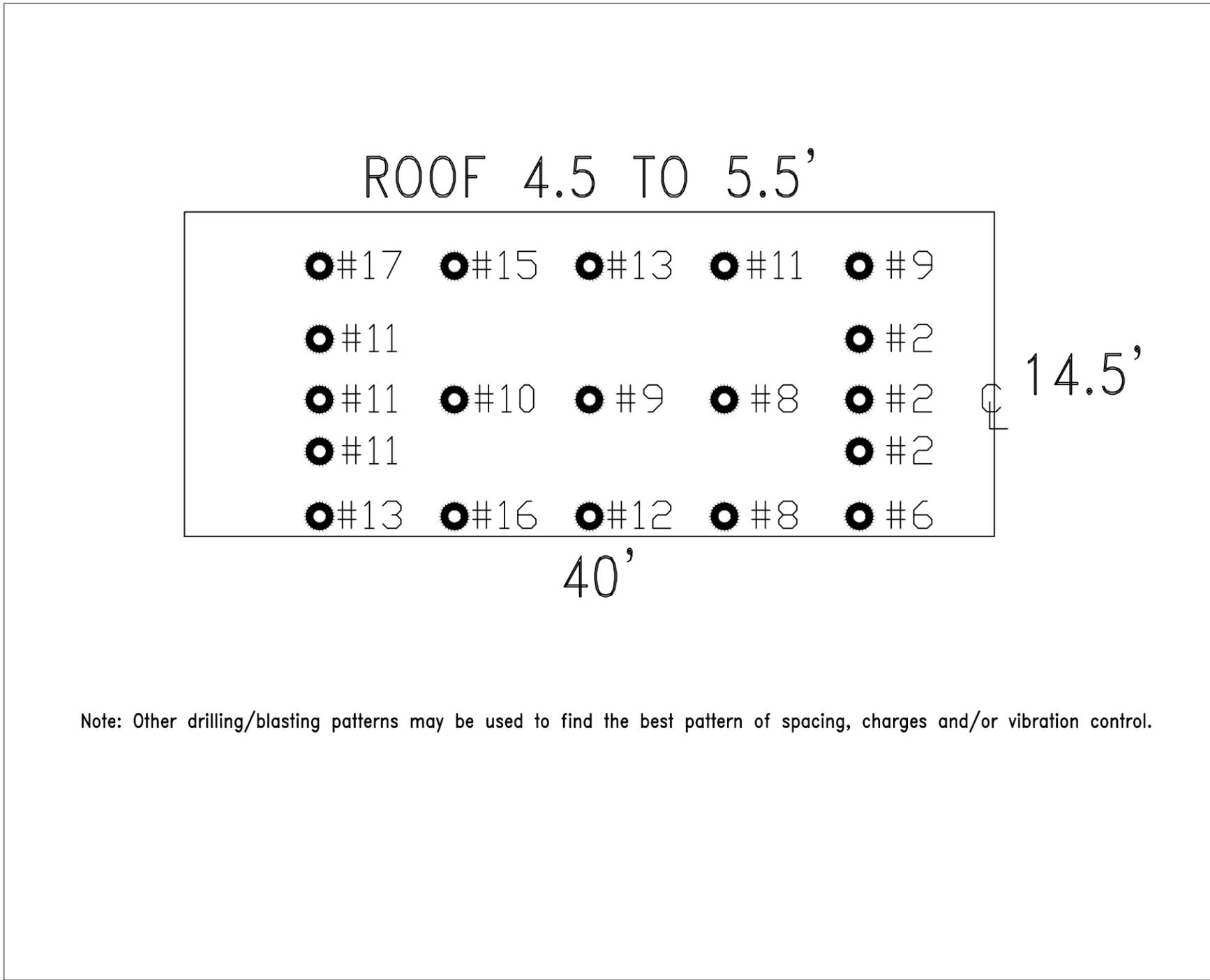
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ARGENTINE SURFACE DRILLING & BLASTING PATTERN (TYPICAL)



ARGENTINE UNDERGROUND DRILLING & BLASTING PATTERN (TYPICAL)



BETHANY FALLS UNDERGROUND DRILLING & BLASTING PATTERN (TYPICAL)

Note: Other drilling/blasting patterns may be used to find the best pattern of spacing, charges and/or vibration control.

NOTES:

1. DRILLING & BLASTING PATTERNS ARE TYPICAL & MAY BE ADJUSTED.
2. OTHER DRILL SIZES AND DELAYS MAY ALSO BE ADJUSTED AS NEEDED.



PROPOSED DRILLING & BLASTING PATTERNS

PARKVILLE MINE

PLATTE COUNTY, MO

DRAWN BY: L. BHATNAGAR	REVIEWED BY: B. MESKIMEN	DRAWING DATE: 8/6/2000	FIGURE: FIGURE # 4
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Section VII

Protection of Riss Lake Dam

Black & Veatch prepared a detailed report on Riss Lake Dam in the late 1970s. The city of Parkville is also believed to have a copy of this report. This report suggested the seismic peak particle velocity limit of 1.55 inches per second. This has become a local standard for seismic wave energy limits from blasting operations.

Parkville Stone Company had recorded blasting events at times from various points in the direction of Riss Lake Dam during the late 80's and early 90's when mining Argentine ledge close to Park College campus. All measurements were well below the limit with several below the seismograph's automatic trigger level of 0.02 inches per second.

As mining proceeds closer to the Riss Lake Dam, monitoring in and around the dam site would be scheduled at various times as blasting distances approach 500 ft.

Section VIII Mine Management Plan

Names of individuals responsible for management and operation of mine and related operations:

1. ~~Doug Gale~~ ^{Bill Podrazik}, Vice President & General Manager, Kansas Region (913)390-8396
2. ~~Phil Holland~~, General Manager, Kansas City District (913)390-8396
3. ~~Marvin Gabb~~ ^{Gregg Conner}, Production Manager, Kansas City District (913)390-8396
4. ~~Scott Crabtree~~ ^{Ike Lewis}, Plant Manager, Parkville Mine (816)741-2550
(816)627-9846 mobile

Section IX Master Traffic Plan

The traffic from the mine, for the most part, goes south on Coffey Road and then on to Missouri Highway No. 9.

Customers are free to hire or furnish their own trucks and the Company can exercise control over these trucks only when they are on the mine property. The company will avoid loading trucks beyond their apparent capacity and will refuse to load vehicles with damaged tailgates or leaking bodies.

Loading operations are generally operated during daylight hours. Emergency needs or other customer needs may require some exceptions.

Names of individual(s) responsible for truck traffic complaints:

1. ~~Scott Crabtree~~, Plant Manager, Parkville Mine (816)741-2550
Ike Lewis

In satisfaction of its legal obligations to provide road maintenance and improvements and in consideration of Operator's continuing right to use the Haul Routes designated in the Traffic Management Plan, all as approved by Ordinance No. 827, Operator agrees to make the prepayment specified in Section XIII hereof and to make a payment of Sixty Thousand Dollars (\$60,000.00) (the "Road Maintenance Payment") to the City of Parkville within 30 days of the City's approval of its 2000 Mine Development Plan or of Operator's acquisition of the property (whichever comes later). The Road Maintenance Payment shall be in addition to the prepayment of occupation license fees specified in Section XIII hereof, and shall be used solely for public improvements at the intersection at Highway 9 and Coffey Road. The City may also use any portion of the prepayment specified in Section XIII for road maintenance and improvements as the City deems appropriate, in addition to the Road Maintenance Payment.

Notwithstanding anything to the contrary contained herein, Operator shall not make the Road Maintenance Payment unless the City shall have completed a traffic study showing that signalization and other public improvements for the intersection of Highway 9 and Coffey Road are warranted. Operator agrees to pay to the city (at the later to occur of 30 days after the City's approval of the 2000 Mine Development Plan or of Operator's acquisition of the property), the sum of not to exceed four thousand (\$4,000) dollars to reimburse the City for the cost of said traffic study for the intersection of Highway 9 and Coffey Road.

Section X

Mine Related Surface Development Plan

Figures 1, 2 and 3 show the location of existing topography, future topography, plant and stockpile areas, plant entrance(s) and other support area. It specifically includes excavation of soil to create level plant, stockpile and other support areas, proposed adits to Argentine, Winterset and Bethany Falls ledges. It also includes retention ponds, concrete and asphalt plant locations.

All Mine related surface development is accomplished in accordance with:

1. Lease with the Park College.
2. Permits issued by MDNR Land Reclamation Program.
3. Permits issued by MDNR Air Pollution Control Program.
4. Permits issued by MDNR Water Pollution Control Program
5. Other Federal, State and Local agencies.

Section XI

Pollution Abatement Plan

The Company will operate the Mine in accordance with all permits issued to operate a mine, quarry and processing plant at the Parkville Mine.

Following is a brief listing of the Permits and Plans:

1. MDNR Land Reclamation Program (Mining Permit).
2. MDNR Air Pollution Control Division (Construction and Operating Permits).
3. MDNR Water Pollution Control Program (NPDES Permit).
4. Fugitive Dust Management Plan (FDM Plan). The FDM Plan will incorporate Best Management Practices for controlling fugitive dust from the areas at the Parkville Mine with potential to generate fugitive dust emissions. The water truck loadout station is also expected to be upgraded significantly to allow rapid reloading of this water truck.
5. Spill Prevention Control & Countermeasure Plan (SPCC Plan)
6. Stormwater Pollution Prevention Plan (SWPP Plan)

FDM, SPCC and SWPP Plans will be located on-site for pollution abatement training and guidance. These plans and permits are available upon written request to the City Engineer, Mayor and Board of Aldermen for review.

Names of individual(s) responsible for Pollution Abatement Plan:

1. ~~Scott Crabtree~~, Plant Manager, Parkville Mine (816)741-2550
Ike Lewis

Section XII

Standards for Ventilation Shafts or Holes

All ventilation shafts or holes will be constructed in accordance with good engineering practices and properly protected by a fence or other cover to protect persons from injury, so long as this does not conflict with Federal or State Mining Regulations.

Ventilation shafts should be spaced at accessible surface points, at intervals sufficiently separated to balance airflows, with adequate volumes going to the active phases. Surface locations should be properly guarded and fenced and be clear of combustible material within 25 ft of intake casing. Figure 5 (Miscellaneous Details) shows a typical design of an air shaft/emergency secondary exit. Ventilation shafts are normally constructed using the raise bore method. A 10 ft. diameter hole was raise cut and was lined by a 108" steel liner with ½" thickness. The annular space between the bore and liner was filled with concrete.

The 75 hp fan delivers approximately 200,000 cfm into the Mine. Five (5) – 30 ft caged ladders provide emergency exit. An auxiliary exhausting fan is also attached to meet MSHA Standards for reverse circulation. If needed, this exhaust fan can move approximately 50,000 cfm up the airshaft. The top housing is about 12 ft. above ground level, and is hinged to allow for natural ventilation during the winter. There are two (2) existing airshafts (1S 11W & 10E 22N) at the Mine (Figure 2). Airshaft (10E 22N) was installed in 1999 and is currently not equipped with a fan and/or emergency exit ladders.

Any surface development should provide adequate open space around airshafts for servicing and access.

Section XIII Occupation License

Pursuant to Ordinance No. 827 Section 2(6), the mine operator is required to obtain and maintain an occupation license from the City. The fee for such license is designated in Section 635.020 of the Municipal Code of the City of Parkville as One Thousand Dollars (\$1,000.00) per year plus three cents (\$.03) per ton for each ton of limestone sold or physically removed from the mine property.

Operator hereby agrees to obtain and maintain the required occupation license from the City.

Within thirty (30) days of the later to occur of (i) the City's approval of Operator's 2000 Mine Development Plan or (ii) Operator's acquisition of the property which is the subject of the 2000 Mine Development Plan, Operator shall make a payment to the City of One Hundred Thousand Dollars (\$100,000.00) as a prepayment of the license fee and tonnage fee for the Parkville Mine required by Section 635.020 (the "Prepayment"). The Prepayment shall be credited, on a dollar for dollar basis, against all license fees and tonnage fees owed by Operator to the City; provided, however, that notwithstanding the prepayment, Operator shall, if required by applicable ordinances, pay to the City, annually, \$13,000 in license and tonnage fees. The credits due to Operator shall only be applied for license and tonnage fees due annually to the City in excess of \$13,000 per year. The prepayment may be used by the City for such public purposes as the Board of Alderman shall determine.

CITY OF PARKVILLE

Policy Report

Date: Monday, July 11, 2016

Prepared By:
Lauren Palmer
City Administrator

Reviewed By:
Tim Blakeslee
Assistant to the City Administrator

ISSUE:

Consider a request from First Student, Inc. for parking and shuttle service.

BACKGROUND:

City staff recently received a request from First Student, Inc. (6207 NW Bell Rd., Parkville, MO 64152) for an off-site parking and shuttle service. The company has experienced considerable growth and outgrown its existing space for employee parking. The company has over 200 employees at its Parkville location. The company requests permission to allow employees to park off-site in the public lot north of English Landing Park and south of the railroad tracks (near the farmers market). The company would shuttle employees to the location on Bell Rd. likely using a 20-foot passenger bus.

The impact would be on weekdays only and the company would need about 20 stalls. The peak timeframes are 6:00 a.m. to 9:00 a.m. and 2:00 p.m. to 4:30 p.m. If the Board desires to accommodate the request, staff recommends utilizing the approximately 60-stall lot in Platte Landing Park near the end of Main Street across from Grigsby Field. A location map can be found in Attachment 1. This lot would have less demand during the requested times and would have a lower impact on customer parking for downtown merchants. The potential downside to this location is the limited access via the one-lane bridge over Rush Creek, although the bridge and roadway are designed to handle larger truck-trailer traffic to the boat ramp.

Staff seeks direction from the Board of Aldermen regarding this request. The Board may choose to allow this use as public parking with no formal arrangement or regulation. The parking lots in question are general public lots that are not restricted for any particular use. Staff researched and determined that the only regulation that appears to apply is that vehicles may not be parked continuously for more than 72 hours (Municipal Code Section 355.025.A.2.). Although the lots are intended primarily to serve patrons of the downtown parks and merchants, this use is not specified in the Municipal Code. Staff does not monitor to ensure vehicles in the lots are affiliated with downtown amenities.

On the other hand, this is essentially a request to utilize a public amenity to subsidize a private business by accommodating a private need that cannot be met on-site. Given that the use may conflict with other public objectives, such as convenient access for park patrons, the Board may choose to seek compensation through a formal use agreement. First Student stated it would be willing to enter into an agreement with compensation if requested. No dollar amounts have yet been discussed; staff would need time to research the fair market value for a service of this nature if directed by the Board of Aldermen. The proceeds could be deposited to the Parks Donations Fund to support other public parks needs and amenities. First Student requests a response soon in order to try the service this summer in anticipation of full implementation around August 1 to coincide with the beginning of the school year.

BUDGET IMPACT:

The budget impact is contingent on the action taken by the Board of Aldermen. The Board may seek compensation from First Student to accommodate off-site parking in public lots.

ALTERNATIVES:

1. Allow the use to go unregulated.
2. Allow the use to go unregulated on a temporary basis through September 16, 2016, (approximately 60 days) and re-evaluate the impacts at that time.
3. Direct staff to negotiate a use agreement with appropriate compensation for the parking and shuttle service requested.
4. Refer the request to the Community Land and Recreation Board (CLARB) for a recommendation.
5. Direct staff to decline the request.
6. Postpone the item.

STAFF RECOMMENDATION:

Staff seeks direction by consensus from the Board of Aldermen.

POLICY:

The Parkville Municipal Code limits parking in public stalls to no more than 72 continuous hours. Although the public lots south of the railroad tracks are intended primarily to serve patrons of the downtown parks and merchants, this use is not specified in the Municipal Code.

SUGGESTED MOTION:

I move to authorize staff to express to First Student the intent of the Board of Aldermen to:

Option 1:

Allow the use to go unregulated as public parking.

Option 2:

Allow the use to go unregulated on a temporary basis through September 16, 2016, and re-evaluate the impacts at that time.

Option 3:

Negotiate a use agreement for the parking and shuttle service requested with appropriate compensation determined by staff through research of fair market value.

Option 4:

Refer the request to the Community Land & Recreation Board for a recommendation.

Option 5:

Decline the request.

ATTACHMENT:

1. Map
-

Attachment 1



Stone Canyon Pizza 🍕

S Main St

Bentley Guitar Studios 🎸

First Student
Proposed Location

McAfee St

Rush Creek

Bush Dr

NW River Park Dr

English
Landing Park

S Main St

Staff Proposed
Location

Rush Creek

CITY OF PARKVILLE

Policy Report

DATE: Tuesday, July 12, 2016

PREPARED BY:
Stephen Lachky, AICP
Community Development Director

REVIEWED BY:
Lauren Palmer
City Administrator

ISSUE:
Adopt the Highway 45 Corridor Plan.

BACKGROUND:

Through prior planning efforts, the community identified the desire to improve the appearance of Highway 45 with a preference for a parkway or boulevard appearance as opposed to that of a state highway. The community also identified the desire to see consistency in the corridor regardless of jurisdiction. Accordingly, the City's adopted master plan includes several related goals and objectives including:

- Adopting a joint City / County corridor plan and joint development policies and standards;
- Adopting design standards for development and highway improvements that create a "boulevard" character;
- Addressing issues such as building placement, building design, streetscape, landscaping, and other elements consistent with the character and vision of Parkville;
- Enhanced landscaping in the public right-of-way and on private property and integrating natural landscapes and buffers to retain the community's natural appearance; and
- Incorporating public and private streetscape and aesthetic improvements along key corridors like Highway 45.

On November 6, 2012, the Board of Aldermen unanimously approved a memorandum of understanding for a joint City / County 45 Highway Corridor Plan. On May 7, 2013, the Board approved C/A Ordinance 438, authorizing an agreement with Platte County to jointly fund and administer the project and a contract with Gould Evans to provide consulting services on the project. The executed contract includes developing a vision for corridor improvements and clear and consistent public and private improvement standards. The project does not include revisiting land use projections which have already been adopted by the City and County. Rather, the plan contains design & aesthetic guidance and tools necessary for the City, County, developers and landowners to create a corridor that facilitates high-quality economic development, sensitive to the scale and character of the community.

Per the approved contract, the project consisted of four phases:

- Phase 1 - Corridor Assessment (task previously started)
- Phase 2 – Development Framework
- Phase 3 – Corridor Plan
- Phase 4 – Strategic Implementation

The final plan was supposed to be completed and adopted in 2014. However, due to conflicting schedules and other time commitments between the City and County beginning in 2013, the project was delayed two years longer than anticipated. In 2016, the consultant team completed its analysis and deliverables, the Steering Committee convened and reviewed the initial draft plan, and a public open house was held at the Platte County Community Center South YMCA on April 25, 2016. The consultant team has since incorporated comments and feedback from

the public open house, as well as final input from the 45 Highway Steering Committee, into the plan for adoption by the City of Parkville and Platte County. Platte County planning staff will present a plan update to the Platte County Commissioners on July 12, 2016, and seek a formal recommendation for adoption on August 9, 2016.

The *Highway 45 Corridor Plan* is not a land use plan; rather, it's a plan containing a vision strategy of high-quality character along Highway 45, and includes design guidance tools for the City, County, developers and landowners to implement as development occurs along the corridor in the future. The plan identifies "Natural", "Active," and "Transitional" segments along the corridor based on the existing natural environment, topography, development, uses and scale; and it provides corridor design guidance for each section, including:

- Corridor Design
 - Streetscape
 - Amenities
 - Connectivity
 - Access
- Site Design
 - Orientation
 - Scale
 - Landscape
 - Parking
 - Signage
 - Design Details

This information is helpful for the City, County, developers, and landowners; especially since it gives guidance related to location placement, buffers, setbacks and distances from right-of-way, landscape criteria, planting spacing requirements, height for pedestrian scale, appropriate materials, and provides illustrative concepts and imagery for each segment. The plan also addresses how improvements guided by the *Highway 45 Corridor Plan* will take time to implement, and provides different sources of funding and implementation that could be pursued. This includes, but is not limited to, annual requests within the City of Parkville's Capital Improvement Program (CIP) process, creation of a corridor capital fund, community improvement / transportation development districts, public / private partnerships, and grant opportunities. Staff will consider improvements along Highway 45 to its future CIP.

Once adopted, staff will use the *Highway 45 Corridor Plan* to determine design guidance & aesthetics conformity as development and redevelopment occurs along the Highway 45 corridor. The plan will be available to developers and property owners to use as a tool for corridor design, site design, and developing conceptual plans. Staff will provide the plan as a resource during any pre-application conferences with developers, and utilize it during staff's preliminary plan review and/or site plan review process for projects along Highway 45. By adopting the corridor plan, public improvements to Highway 45 can more easily facilitate higher quality economic development that is sensitive to the scale and character of the community.

BUDGET IMPACT:

The \$40,000 project was funded jointly by the City and County (\$20,000 each). These funds were obligated and paid to the County in 2013 in accordance with the adopted project agreement. With the exception of ancillary costs (e.g., printing copies of adopted plan), no additional budget impact is projected.

ALTERNATIVES:

1. Adopt the Highway 45 Corridor Plan.
 2. Adopt the Highway 45 Corridor Plan with modifications suggested by the Board of Aldermen.
 3. Reject the Highway 45 Corridor Plan, and refer specific issues back to the Steering Committee for further analysis.
 4. Postpone the item.
-

STAFF RECOMMENDATION:

Adopt the Highway 45 Corridor Plan.

POLICY:

The project's scope of services includes four phases and key tasks, including Phase 3 (Corridor Plan), Task 3-4 (Corridor Plan) – *Based on discussion for the Initial Draft, a formal recommended plan will be presented. This plan will form the foundation for more specific implementation steps in Phase 4, and a public or stakeholder discussion on this draft will include prioritizing likely implementation strategies and approaches giving direction to successful integration of design and development concepts throughout the corridor.* The consultant team completed the Initial Draft Plan deliverable (reviewed by the Steering Committee) and prepared the Corridor Plan deliverable for adoption by the Board of Aldermen.

SUGGESTED MOTION:

I move to adopt the Highway 45 Corridor Plan.

ATTACHMENTS:

1. Highway 45 Corridor Plan
 2. C/A Ordinance 438 (City/County agreement, contract with Gould Evans and project scope)
-

HIGHWAY 45 CORRIDOR PLAN

Platte County and Parkville, Missouri

8 March, 2016



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ADVISORY COMMITTEE:

Parkville, MO

David Jones, Board of Aldermen

Hilary Murray, Property Owner

Mike Carney, Resident / Realtor

Tony Borchers, The National

Bob Lock, Planning and Zoning Commission

Platte County, MO

Beverlee Roper, District Commissioner

Nancy Pate, Planning & Zoning Commission

Tom Fotovich, County Resident

John Grothaus, County Resident

Alan Hoambrecker, Business Owner

Missouri Department of Transportation

Joni Roeseler

STAFF:

Stephen Lachky, City of Parkville, MO

Sean Ackerson, City of Parkville, MO

Daniel Erickson, Platte County, MO

Zach Tusinger, Parkville, MO

PREPARED BY:

gouldevans

INTRODUCTION

INTENT

The Highway 45 Corridor represents a significant travel corridor and primary gateway to southern Platte County and Parkville, Missouri. The corridor is also a local and regional retail destination and economic generator. The corridor has seen significant investment recently, in both public and private investment, through roadway improvements and adjacent development within the corridor. The Highway 45 Corridor Plan represents an opportunity to capitalize on those recent investments, by guiding the design of future improvements, and strengthen the role of the corridor in the region.

The plan will define the future design of the corridor amenities in conjunction with the recent and planned roadway improvements. Similarly the plan will address development design in a manner that respects the value and character of the corridor created by the roadway design. The design guidance will provide the city, county, developers and landowners with the necessary



Figure 1: Highway 45 Corridor Plan Study Area

tools to create a corridor that continues to define the region, as a connector, economic engine and gateway in southern Platte County and Parkville.

PROCESS

The Highway 45 Corridor Plan process focused on the length of corridor between Interstate 435 on the west and Highway 9 on the east, reaching just outside each of those extents, and to those properties adjacent to the highway frontage (Figure #1).

The planning process was defined by four primary tasks:

- Corridor Assessment – an analysis of the previous improvements and studies addressing the roadway, public improvements and development design to create initial corridor concepts.

- Development Framework – defines the development pattern and character for the corridor based on development scenarios.
- Corridor Plan – defines the corridor vision and plan components, both public and private, that will create the future corridor.
- Strategic Implementation – defines the actions and tools necessary, for public improvements and private development, to implement the vision stated.

The process was led by a citizen’s advisory committee that helped to frame issues, identify potential solutions and define implementation measures. Additionally a public meeting was held to define the vision for the corridor and review the public improvements and development concepts prepared. The plan has been adopted by the City of Parkville, MO and Platte County as the design policy for Highway 45.

BACKGROUND

EXISTING PLANS

City of Parkville Comprehensive Plan

Highway 45 is a specific sub-area for study identified by the Parkville Comprehensive Plan. The plan sets the development policies for the corridor and identifies three development nodes for the corridor. The land use identified for the corridor is a mix of commercial, office, office/business park, parks and open space, moderate density residential, mixed-use residential and mixed-use, from Highway 9 west to approximately Crooked Road. The plan also identifies mixed-use, office/business park, mixed-use residential, moderate density residential and parks and open space at the interchange of Highway 45 with Interstate 435.

The development nodes on Highway 45 identified by the plan include:

- Crooked Road – mixed-use node surrounded by a variety of housing options;
- Interstate 435 – opportunities for higher-density, larger scale development including

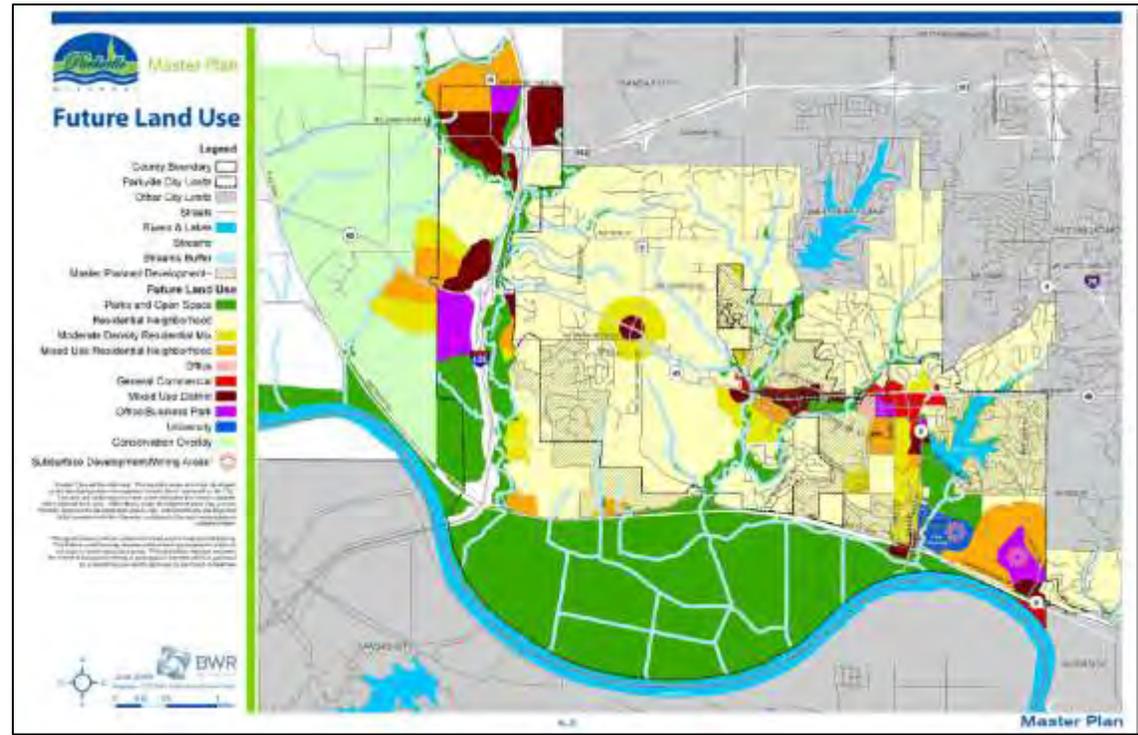


Figure 2: Future Land Use Plan, Parkville

a blend of mixed-use, office/business park, mixed-use residential and moderate density residential uses clustered around the interchanges

The policies for future improvements and development within the corridor include:

- Preservation of the roadway capacity and safety;
- Annexation of land for future urban development patterns;

- A nodal development pattern for higher intensity commercial and residential development;
- Adopt design standards for the roadway and development;
- Integrate local and regional trail systems;
- Retain the natural character of the community; and
- Improve connectivity between Parkville and regional employment centers and services.

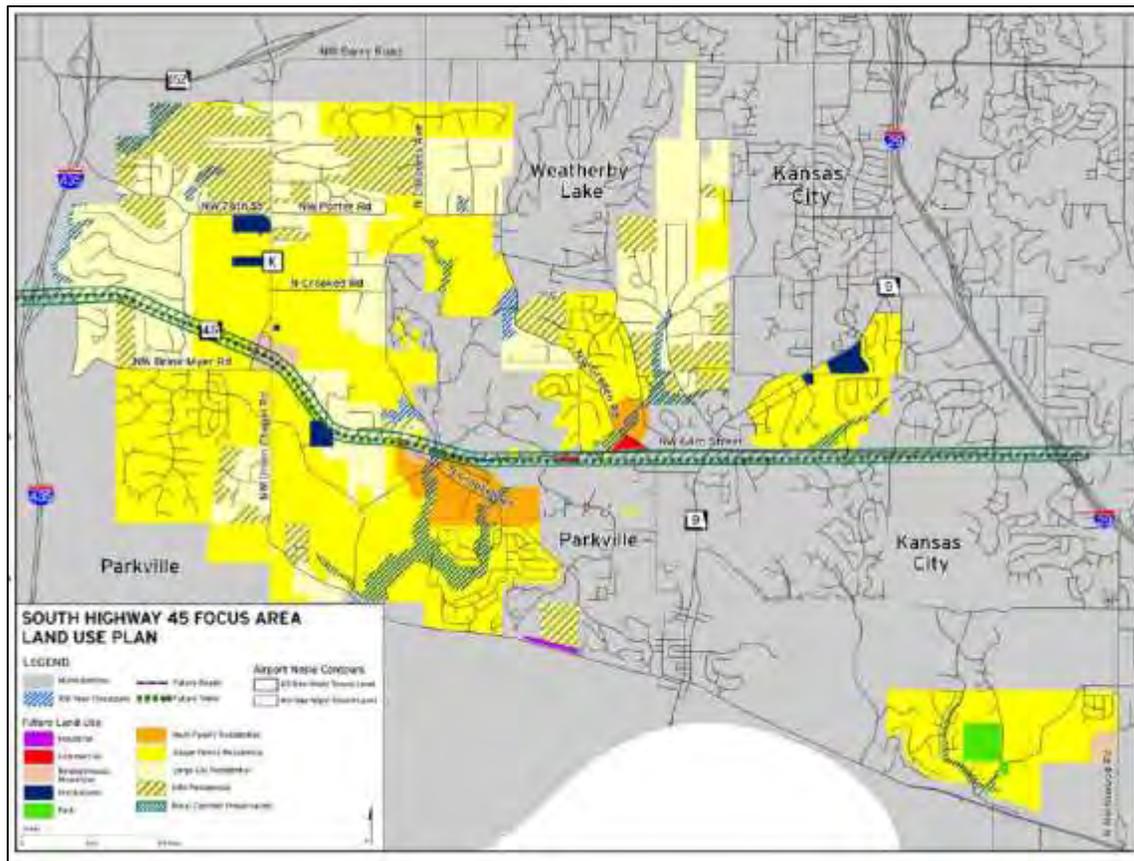


Figure 3: Future Land Use, Platte County

Platte County Comprehensive Plan

The plan for Platte County recognizes the importance of the Highway 45 Corridor to the future growth of the County. Future growth of the county and the Highway 45 Corridor will leverage several unique assets that are present in the county or are planned for the future. As a fast-growing county on the urban fringe of the Kansas City metropolitan area, Platte County has

identified several issues that will guide the continued growth and development of the county. Those issues include the preservation of the natural character, provision of adequate infrastructure and the stewardship of limited natural resources.

The county has identified the connectivity and accessibility, trail connections, residential and

agricultural land uses and the topography as elements that will shape the future of the corridor. To ensure that future development of the corridor enhances the character of the corridor and the county goals have been prepared. Several of those goals are applicable to the Highway 45 Corridor and include:

- balancing the protection of property rights and protecting the health, safety and welfare of residents;
- minimizing the impact of development to environmentally sensitive areas;
- conservation of distinct natural features that contribute to the character of the community;
- maintenance of the architectural and natural character of the county;
- conserve distinctive man-made features that contribute to the character of the county;
- protect and reuse valuable historic resources;

- ensure that development improvements are sensitive to the historic context of communities;
- acknowledge that an efficient and balanced transportation system supports a healthy economy and access;

Additional guidance for the corridor is found in the County’s Comprehensive Plan through defined policy areas. The policy areas defines specifics regarding future development within the county. Three specific policy areas help to define the future development of the Highway 45 Corridor, including

- Neighborhoods – intended to protect established areas of development through context sensitive infill development, through:
 - Compatibility of density and scale,
 - Integration of existing development and natural features, and
 - Transitions between development densities through buffering and use of topography.

- Corridor Preservation - intended to protect and enhance the natural setting along roadways, through:
 - Preservation of natural topography, major tree stands and existing vegetation,
 - practical design and engineering to address current and future needs,
 - incorporation of green solutions for stormwater management,
 - incorporation of hiking / biking trails,
 - development of architectural standards, and
 - improved roadway function and safety.
- Mixed Use Centers – intended to guide development of a Neighborhood Mixed Use node at Highway K and Highway 45. Policies include:
 - residential in character,
 - low-scale monument signage,
 - transitions between different densities, and
 - trail and sidewalk connections,

Finally the plan makes recommendations for implementation of the goals and policies as

applied to future development. Those actions that would influence the development of the Highway 45 Corridor include:

- adoption of countywide design guidelines,
- identification of natural resources in areas proposed to be developed,
- development of specific corridor preservation guidelines, and
- consideration of intergovernmental agreements to coordinate land use and infrastructure agreements

The Comprehensive Plans for Parkville and Platte County provide the foundation for the preparation of this plan for Highway 45. The direction provided by this plan will provide additional guidance for future development along the corridor in pursuit of the City and County vision for the corridor and communities.

CURRENT CONDITIONS

Roadway Design

Currently Highway 45 has been improved, within the study area from east of Highway 9 to a realigned Missouri K, on the west. The improved section has been constructed with two travel lanes in each direction with protected (by a median) left turn lanes at primary intersections with cross-streets, as well as anticipated future access points. Limited aesthetic or character improvements have been made to the corridor. Where a median is present, to divide the east and west bound travel lanes, it is planted with grass.

Similarly, the two roundabouts in the corridor, at South National Drive and at Missouri K, are landscaped. The National Drive Roundabout is planted with a variety of soft and hardscape and is maintained by the National Golf Club. The Highway K roundabout is planted with grass. The improved section of roadway also includes a 10 foot wide, asphalt multi-use path along the south side, within the right-of-way. The right-of way of the improvements varies throughout the corridor to accommodate the roadway and other improvements and respond to the topography of the area. An illustration of the current improved



Current Corridor Conditions

roadway section can be found in Figure 7 on Page 12 of this plan.

Access

Currently ingress and egress from Highway 45 to adjacent property is limited throughout most of the corridor. Access in the eastern portion of the corridor between Crooked Road on the west and Highway 9 on the east, has been reestablished as development has occurred from side streets and streets internal to development. The central portion of the corridor that remains primarily single-family residential has many individual drive ways reaming to serve adjacent homes. The western end of the corridor, also primarily residential has fewer access points as residential

neighborhoods are accessed from single entryways.

Access to the corridor itself is good as it is served by I-435 on the west and I-29 on the east. The corridor is also served by several state and local routes including State Highways 9 and K.

Roadway Character

Recent transportation improvements have been made with limited design enhancements to improve the character of the corridor. A grass median, boulevards strips adjacent to the roadway and a multi-use trail has improved the corridor. However, the corridor still lacks streetscape and pedestrian / bicycle amenities.

Currently the roadway west of K Highway to I-435, at west end of the corridor, remains an unimproved two-lane section. Improvements are planned similar to recent improves, through this section of the corridor, completing the roadway upgrades from 9 Highway of the east to I-435 on the west.



Current Corridor Conditions – Near Highway 9

Development Character

The current development character of the corridor changes across its length. The eastern portion of the corridor, generally between Highway 9 and Lakecrest Lane, is an active development character developed with commercial uses that provides services. Moving west through the corridor a more green development character exists between the Lakecrest Lane and NW Crooked Road. This section of the Highway 45 Corridor, through the presence of the golf course provides a manicured, green development character through its open spaces. West of Crooked Road a natural, un-manicured development character exists, preserving much of the original character of the land. The natural setting takes precedence over that of development with the preservation of

the trees, topography and viewsheds with less intensive development along the corridor.

The visual quality of much of the corridor is defined by its visual clutter including utility poles, inconsistent signage and varied building quality. This is certainly true in the portions of the corridor east of Crooked Road in the more active section of the roadway.

ANTICIPATED CHANGES

The remainder of the unimproved corridor, from Highway K on the east to west of 435 on the west, is being designed for a cross-section similar to that of the improved Highway 45. Because of the topography within this section of the corridor the right-of way will be varied to accommodate the

roadway and other necessary improvements. The multi-use trail constructed with the previous improvements will continue throughout these improvements. Like the previous widening project this portion of the roadway will contain a roundabout, at Highway 45 and NW Brink Meyer Road. The section is currently in preliminary design and the widening should be under construction in 2016.

Currently limited commercial development has occurred at the Highway 45 and Interstate 435 interchange, it is anticipated in the future that additional commercial development will occur. Much of the land around the intersection lies within the City of Parkville City Limits and the Comprehensive Plan for the community identifies

the northwest and southeast corners of the interchange for future commercial development. Similarly, it identifies the southwest corner of the interchange for future office / business park development. The northeast corner is primarily in Platte County and identifies large-lot residential as the future land use policy, consistent with its current use. Future commercial and office development will change the character of this area. As development occurs this area will become a major gateway to the corridor and the region.

Development has been occurring throughout the corridor and continued development is expected. The impact of future development to the corridor and its design character will define the corridor for future generations. The intent of this plan is to guide improvements to the corridor and development along the corridor to provide a quality experience that respects and enhances the different character of the corridor.



Current Corridor Conditions – Near Highway K

Summary

The current character of the corridor is defined by the following attributes:

- natural, wooded, green setting on the western end of the corridor (west of Crooked Road)
- manicured green space in the middle section of the corridor
- active development pattern at the eastern section of the corridor
- a lack of beautification & amenities
 - the generic roadway design lacks interest for users

- no corridor identity
 - lack of cohesive design elements throughout the corridor
- rolling topography adds to the natural character of the western portions of the corridor
- visual clutter – power lines, signage, fencing, etc.

These attributes define the user experience for local, daily users of the corridor and visitors to the area experiencing the corridor and communities for the first time.

CORRIDOR DESIGN

The Highway 45 corridor benefits from a widened roadway, between Highway 9 and Highway K, which has increased the capacity of the roadway and access to the region. Those improvements are planned to be extended to the I-435 interchange at the west end of the corridor. The improvements to the corridor have been focused almost exclusively on capacity improvements to accommodate the automobile. The addition of a multi-use trail adjacent to the roadway provides a facility for bicyclists and pedestrians.

The visual quality of the corridor has largely been ignored with the design and implementation of the transportation improvements. The design of the corridor is an important factor in the use of the corridor, by all modes of transportation – automobile, pedestrian, cyclists and transit. Design has many benefits including, improved safety, improved wayfinding and accessibility, creates an identity and a more comfortable experience for users.

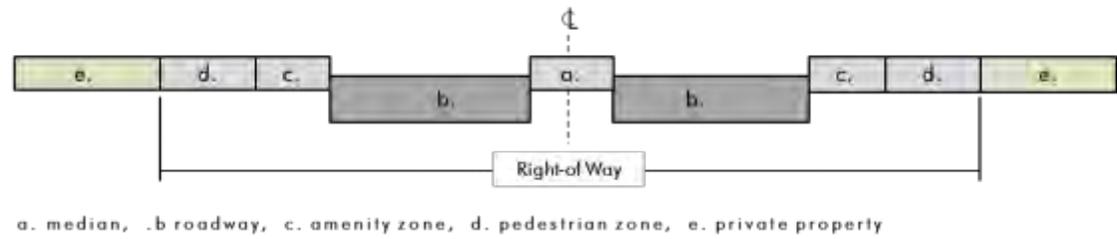


Figure 4: Public Realm / Private Property

This chapter will define those physical improvements to the corridor that enhance the visual quality, connectivity and accessibility and safety of the corridor. Improvements are intentionally defined for both the public realm, typically the extents of the right-of-way, and private development, in particular those properties immediately adjacent to the Highway 45 corridor. Additionally, this chapter will identify the challenges with implementing enhancements to the corridor.

DESIGN ELEMENTS

Urban design is the stitching that holds our communities and places together. To improve the character and comfort of the Highway 45 Corridor design elements should be implemented for both the public portion and the private development that abuts the corridor. Applied correctly the design elements proposed can stitch together the Highway 45 Corridor as a cohesive route to support different places that

serve the surrounding the communities. Similarly, design elements can provide a framework within which future individual actions, of improvements and development, can contribute to the character of the corridor over time.

The design elements strive to create those places that people enjoy, whether they are active or passive spaces through further definition of the public realm and the quality and pattern of development.

The design elements for the Highway 45 corridor include:

Public Realm – this can easily be defined as the space that everyone uses, the public spaces including the rights-of-way as well as parks, plazas, civic spaces and other public spaces.



Current Corridor Development

- Streetscape – includes soft elements like trees and plantings and hardscapes like plazas, specialty pavements that can create a comfortable environment for people use.
- Amenities – the elements can include benches, bike racks, trash receptacles, lighting and other features the supplement the streetscape and encourage use of the area by pedestrians and cyclists.
- Connectivity – facilities like the roadways, sidewalks, trails and crosswalks provide connectivity for automobiles, pedestrians and cyclists both locally and regionally.

- Access – the public realm provides access to adjacent property and development through sidewalks, trails and driveways.

Development Framework – this can be defined as the private realm or private property and the intent is to define how the pieces of a site and its development are designed and relate to the public realm.

- Orientation – defines a developments relationship to the public realm through its placement on the land.
- Scale – defines the size and mass of the building and relationship to other development.

- Landscape – provides natural amenities that support the design of the development site and the building. Landscape should complement the streetscape design.
- Parking – defines the location, size and screening of parking within the development context.
- Signage – the method of identifying a development or business, including any design elements that identify the corridor.
- Design Details – defines the character and quality of development – topics can include the general style of architecture and building materials.

While each of the elements defined, both for the public realm and private development, contribute to the character of the corridor and the quality of the user experience, their application should vary throughout the corridor to define and enhance the different characters present.



Figure 5: Existing Roadway Section & Plan

IMPLEMENTATION CHALLENGES

The vision for the Highway 45 Corridor defines the fundamental design for future improvements. While the future design and development of the corridor address the desires of the community for connectedness, access and character, the implementation of that design comes with challenges. In an age of limited resources, particularly those federal and state transportation resources, implementation of the vision for Highway 45 will take time. It will be important to focus on the incremental improvements that can help obtain the greater vision.

Funding

The primary challenge for implementation of the corridor design is a lack of funding, but that single issue has larger consequences. Much of the funding for state and federal roadways, like Highway 45, comes from the Federal Government through past transportation bills and funding. Today resources allocated for funding roadways, both the maintenance of existing routes and the construction of new or expanded routes, are severely limited.



Corridor Design Improvements

The greatest cost of implementation, is not only the initial construction cost, but the long-term maintenance cost of the roadway and improvements. Maintenance is such an issue, that the long-term commitment and cost of upkeep, combined with shrinking local budgets is enough of a deterrent to keeping cities from building currently funded and future projects of all types.

Ownership of Improvements

In addition to the cost of improvement and maintenance, ownership of the improvements in the corridor is also an issue. With ownership comes liability and maintenance costs, as previously discussed. Although these issues are factors in deciding to pursue improvements, the root of these factors is financial, the needed funding necessary to maintain improvements and address liability matters.

Safety

In addition to creating a visually appealing corridor, it must be safe for all users. The design speeds, expanse of rights-of-way, wide lane widths, and lack of visual cues within the right-of-way encourage higher speeds than the posted speed limits. These design elements increase risks for automobiles and non-motorized users of the right-of-way and adjacent trail system. Many of the design elements proposed will improve the safety, function and appearance of the corridor.

Implementation of the corridor improvements will take time. As development within the corridor continues both public and private improvements identified in this plan should be implemented. Additionally, sources of funding should be sought to support the implementation and maintenance of the public improvement. To ensure the completion of the improvements the following action are necessary.

- An overlay district codifying the development design criteria should be adopted for the corridor.



Corridor Context

- Basic public improvements should be required with development.
- Annual CIP budgeting processes should identify investments in the corridor for implementation of public improvements.
- Funding for future improvements and maintenance of the public corridor improvements should be sought from local, state and federal source as well as other sources.

CORRIDOR PLAN

INTRODUCTION

The future design of the Highway 45 corridor enhancements are rooted in the continuation and improvement of the existing character areas in the corridor. To achieve this the corridor has been divided into segments (Figure 8) that allow specific design elements to shape the character of that segment. The application of the design elements, previously described will improve the character and quality of the corridor and its development.

This chapter of the plan provides the details of the application of the design elements, defined in the previous chapter, to the Highway 45 Corridor, in pursuit of the vision for the corridor.



Highway 45 Corridor

The plan for the corridor is broken into three sections: vision, corridor and place. The vision for the corridor defines the future state in which the corridor design and development are striving to attain. The corridor section focuses on the application of the design elements applied across the corridor the help to create a unified corridor design, within the different settings defined. The places section applies specific design elements to areas within the corridor that deserve special attention to create unique places for the local residents and visitors to the corridor.

VISION

Highway 45 is an important feature of southern Platte County through the connectivity and access it provides. The corridor also provides a front door to the region as well as the City of Parkville. As the county and communities in the region continue to develop, the character and image of the corridor is being impacted. The natural character of the area, including the natural vegetation and the rolling topography define this corridor and area of the metropolitan area. The development of the corridor provides local living opportunities as well as goods and services. The future balance of development and design character will most benefit the corridor and the area, physically and economically.

Vision Statement:

The Highway 45 Corridor will physically, socially and economically connect southern Platte County community by balancing the provision of efficient access, preservation of the natural, scenic character and encouraging quality development.

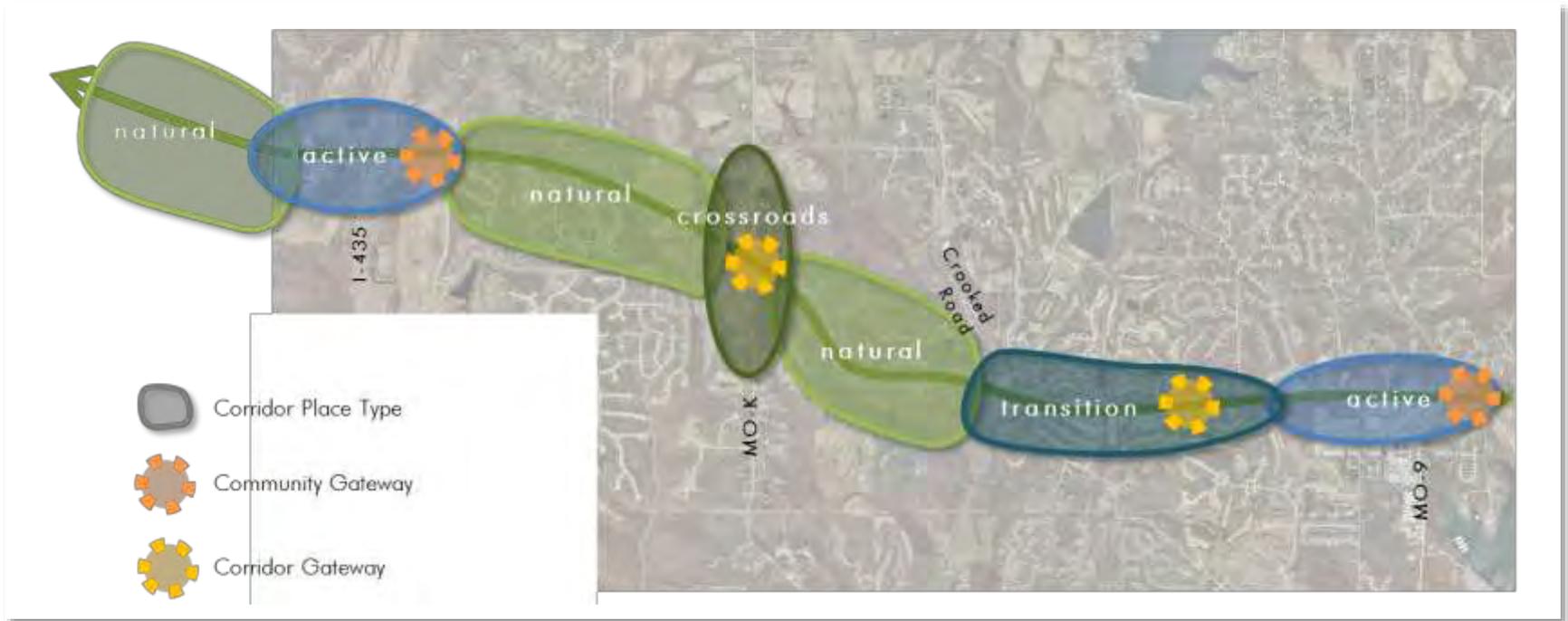


Figure 6: Corridor Segments

CORRIDOR

Across the 5 mile section of Missouri Highway 45 corridor, various development patterns and context exists. These patterns and context define the experience of the corridor today, and will provide the basis for the design character in the future. To adequately address the future design character of the corridor it has been segmented by its current character. The segmentation of the corridor will allow the creation of unique settings and assist in defining the character of the corridor.

While each of these segments will focus on a specific character the design consistency across the corridor is important. The use of common design themes, development scales and patterns and materials will help to create a unified character across the corridor and allow unique places within it.

To support the design of the corridor and development character, three different segments types have been defined. Each of these segments is respective of the existing character and of its location. The segments also define the future corridor context desired and include, *Natural, Active and Transition.*



Corridor Elements - Concept



Site Design Elements - Concept

Corridor Design	
<i>Corridor Design</i>	
streetscape	Use of natural materials as the streetscape base elements will provide consistency throughout the corridor.
amenities	Use of quality, corridor specific pedestrian amenities including lighting, benches, trash receptacles, etc. to serve users of the corridor.
connectivity	Implementation of a connected trail and sidewalk networks to connect people to places throughout the corridor.
access	Provide necessary access to support development patterns along the corridor – limited access in natural places and frequent access in active places.
<i>Site Design</i>	
orientation	Development should respond to the place type and context within which it is occurring to further the development patterns appropriate for the area.
scale	Development should support the place type pattern and place being created through the correct scale, massing and height of structures.
landscape	Landscape should support the place type and development context in which it is being used.
parking	Parking should be located away from Highway 45 to reduce visual impact on the corridor.
signage	Signage should be unique within a place type however, common design elements should provide consistency across the corridor.
design details	The design character of development should be unique to the place type and context. The high quality of development should support the corridor design and provide lasting investment.

Figure 7: Design Character

Natural

The natural segments are defined by their existing natural character including the topography, forest, natural systems (watercourses and drainage ways) and prairie lands. The future of the natural area will strive to protect the character and feel of the area defined by nature.

One simple rule guides the development of natural places; *what we build should not disturb the character of the area.*

The natural areas of the corridor area generally located between NW Brink Myer Road and Crooked Road and west of I-435. The natural area defines much of the western portion of the corridor. In the near future the roadway will be improved to a 4-lane divided roadway between MO-K and I-435 which will change the character of the area. As this section of the corridor changes it is important that the natural character of the corridor is retained and where possible enhanced. Much of the existing development within this section of the corridor would fit the recommendations within this chapter for future development.

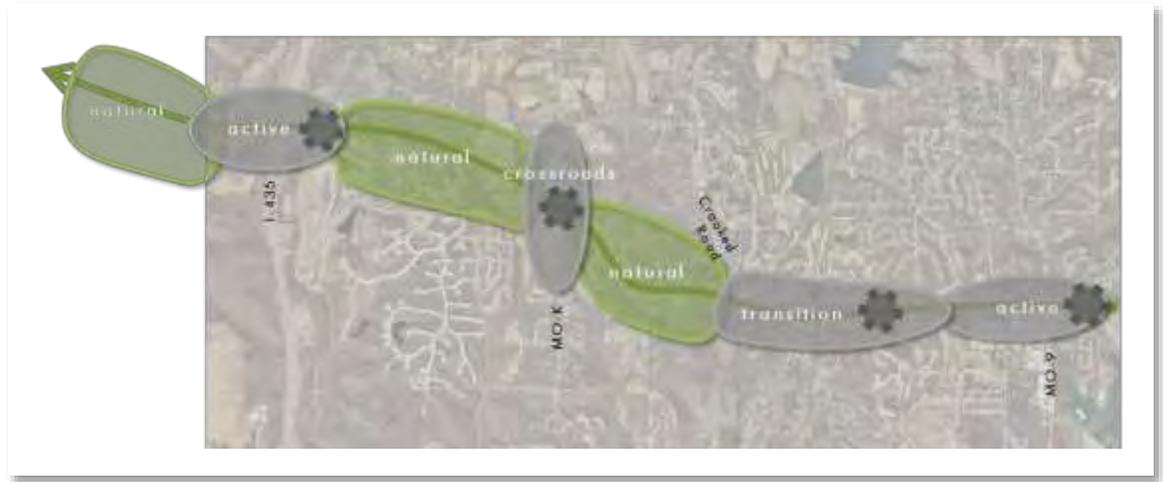


Figure 8: Natural Segments

Neighborhoods such as Timber Ridge, Countrywood and Thousand Oaks have limited impacts to the natural character of the corridor, including limited access, natural entry signage, limited visibility from the roadway and a landscaped highway frontage. Development that can achieve these limited impacts and address the design character elements identified in Figure 9 are desired within this place type of the corridor.



Corridor Design - Concept



Corridor Design - Concept

Natural Design	Design and improvements strive to retain or mimic the natural character, including topography, vegetation and access, of the corridor while accommodating development.
<i>Corridor Design</i>	
streetscape	Planted and treed within the right of way, including the median and adjacent boulevard strips to improve the visual aesthetic of the corridor and the comfort of pedestrians.
amenities	Limited and infrequent pedestrian amenities, only those to support trail users - lighting, benches, trash receptacles, etc.
connectivity	Adjacent trail provides connectivity throughout the corridor with connection to localized sidewalk connections to adjacent development.
access	Automobile access is limited from Highway 45. Crossing and side streets provide access to adjacent development.
<i>Site Design</i>	
orientation	Development is oriented away from Highway 45 to minimize the visual impact and the need for access.
scale	Development is smaller in scale and lower in profile, including single and two story structures for, including commercial and office development.
landscape	Landscape should strive to be natural or mimic a natural appearance including the preservation of topography and natural systems and the retention and enhancement of the vegetation within the first 100' from the right-of-way, where appropriate. <i>See Buffer Type table.</i>
Parking (non-residential)	Parking should be located away from Highway 45 to the rear or side of the primary structure and landscaped from surrounding views.
signage	Signage should be consistent within the segment and reflect the natural character of the area through the use of appropriate materials – stone, wood, masonry, etc.
design details	Design elements taken from the natural vegetation are appropriate for key site elements of a development.

Figure 9: Design Character - Natural



Green Buffer - Concept



Corridor Design - Concept



Figure 10: Corridor/Development Concept - Natural

Figure 10 provides an illustrative concept of development appropriate for the natural segment of the corridor. Figure 12 provides an illustrative example of the corridor and development improvements appropriate within the natural corridor segment.

This plan recognizes that there numerous ways that future improvements can meet the intent of these design standards.

A key element of the natural segment is the Green Buffer that aligns with the corridor. The green buffer provides a green / natural setback from the corridor right-of-way in which development is restricted. Implementation of the green buffer is flexible by using a different type of buffer, depending on the setback provided by the development. The details and application of the buffer types can be found in Figure 11.

Buffer Type	Application	Landscape Criteria
1: Natural	Minimum 100' setback from Highway 45 right-of-way	Provide a mix of Kansas City native deciduous and evergreen trees and native shrubs to enhance the natural aspects of the buffer area. Planting requirements – 5 of each, trees and shrubs (mixed type and species) per 100 linear feet of highway frontage, dispersed throughout the buffer area.
2: Enhanced	Minimum 50' setback from Highway 45 right-of-way	Provide a mix of Kansas City native deciduous and evergreen trees and native shrubs to enhance the natural aspects of the buffer area. Planting requirements – 15 trees and 25 shrubs (mixed type and species) per 100 linear feet of highway frontage.
3: Screened	Minimum 35' setback from Highway 45 right-of-way	Provide a mix of Kansas City native deciduous and evergreen trees and native shrubs to enhance the natural aspects of the buffer area. Planting requirements – 25 trees and 50 shrubs (mixed type and species) per 100 linear feet of highway frontage, or landscaping in sufficient quantity to create a nearly opaque screen of the development.

Figure 11: Buffer Types - Natural Segment

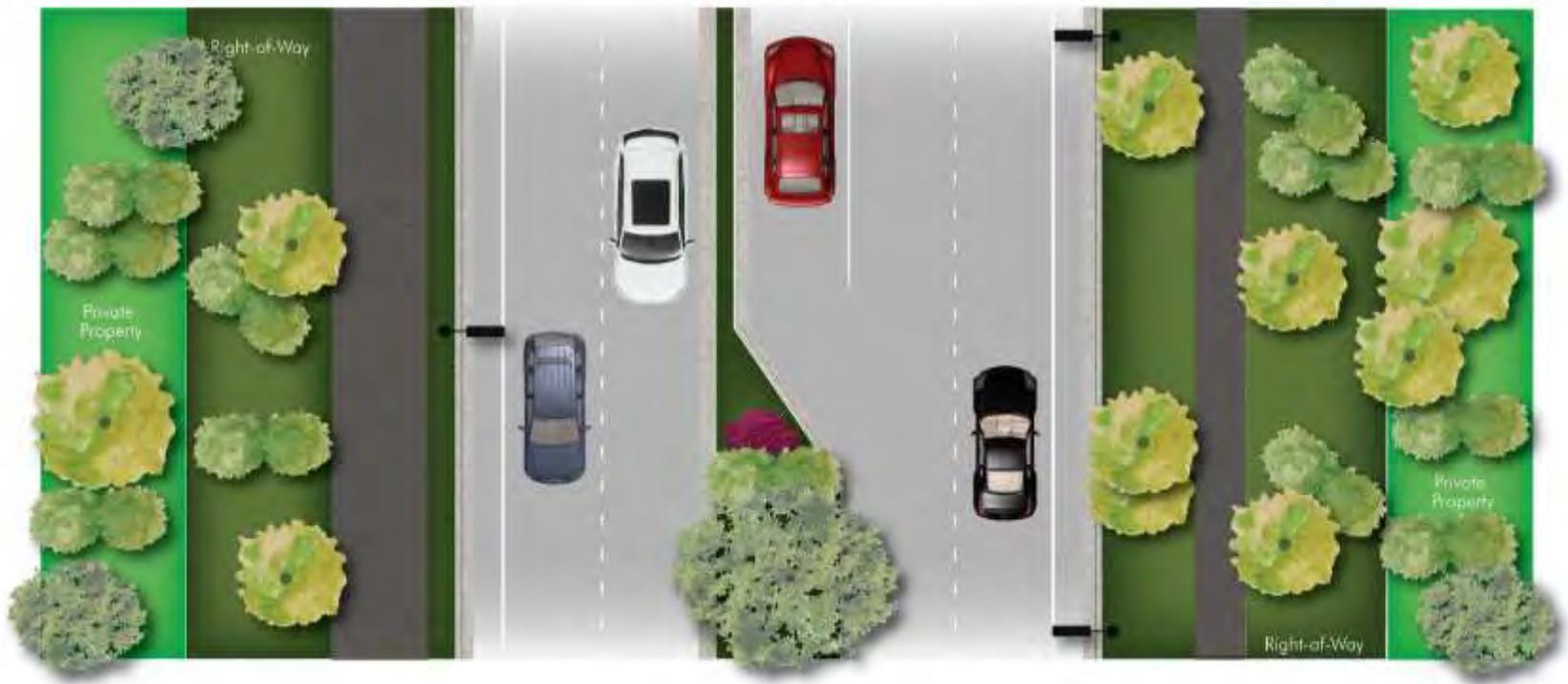


Figure 12: Roadway Section & Plan - Natural

Active

Active segments are designed to encourage activity and building the places that are currently providing interaction. Active segments will be developed to encourage human interaction by providing people scaled development patterns that provide civic spaces and good and services. Additionally, the development of the active segments assists in the preservation of the natural segments within the corridor.

One simple rule guides the development of active places; *what we build shapes the character of the area.*

The active areas defined within the Highway 45 corridor bookend the study area. The areas have been identified based on their existing development pattern and /or their location and context within the larger area. One existing active segment is located generally between Highway 9 and Lakecrest Lane. Much of this area is developed and serves as a commercial center for the corridor and the region. The Parkville Common is a good example of the type of development pattern and improvements that the active segments are aspiring to be.



Figure 13: Active Segments

A second active segment is proposed around the intersection of the I-435 and Highway 45 on the west end of the corridor. Development has started in this segment. As development of this segment continues it should strive to promote connected, walkable, quality development that adheres to the design criteria identified in Figure 14.



Development Design - Concept



Development Design - Concept

Active Design	The pattern and form of what we build defines the character of the place. The design and improvements encourages the development of an lively space for people.
<i>Corridor Design</i>	
streetscape	Planted and treed within the right of way, on Highway 45 and side streets, to improve the visual quality of the corridor and development as well as the comfort for pedestrians.
amenities	Significant pedestrian amenities including lighting, benches, trash receptacles, etc. within the right-of-way and in civic spaces are incorporated.
connectivity	A sidewalk network that mirrors the street network to support development provides pedestrian connectivity. Connection of the sidewalk network to the trail system provides broader connectivity throughout the corridor.
access	Multiple automobile access points from Highway 45 supports development centers.
<i>Site Design</i>	
orientation	Development is oriented to Highway 45 and the adjacent street system. Buildings should be built to the street, or with a minimal setback, encourage pedestrian connectivity.
scale	Development of a pedestrian scale, up to 3 to 4 stories in height is appropriate.
landscape	Streetscape improvements to side and internal streets, replaces individual site landscaping. Civic/public spaces, either hardscape or green, are incorporated into new development to provide gathering areas.
parking	Off-street parking is located away from Highway 45, and the side street right-of way, as a secondary use to the primary structure. On-street parking on side and internal streets should be maximized.
signage	Signage should be consistent within the development context and contemporary to compliment the building design.
design details	Quality, contemporary design details are appropriate within active segments. Consistency with a development segment is a goal.

Figure 14: Design Character - Active

Figure 15 provides an illustrative concept of development appropriate for the active segment of the corridor. Figure 18 provides an illustrative example of the corridor and development improvements appropriate within the active corridor segment.

This plan recognizes that there numerous ways that future improvements can meet the intent of these design standards.

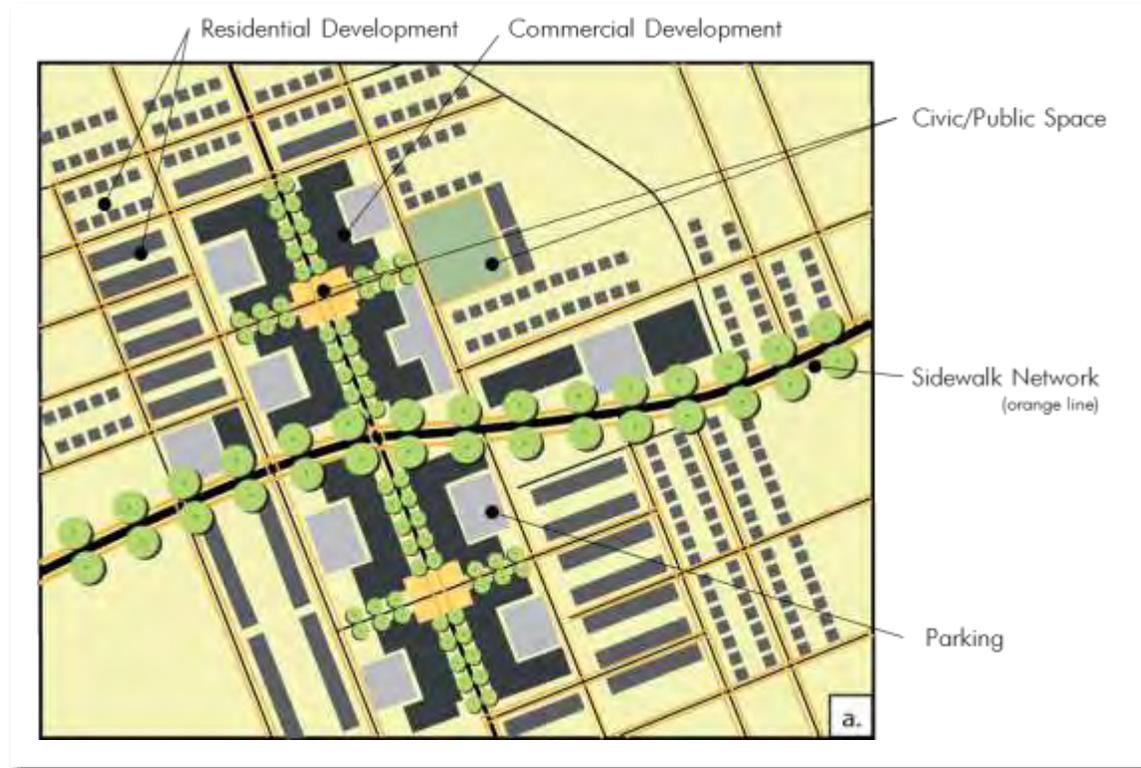


Figure 15: Corridor/Development Concept - Active

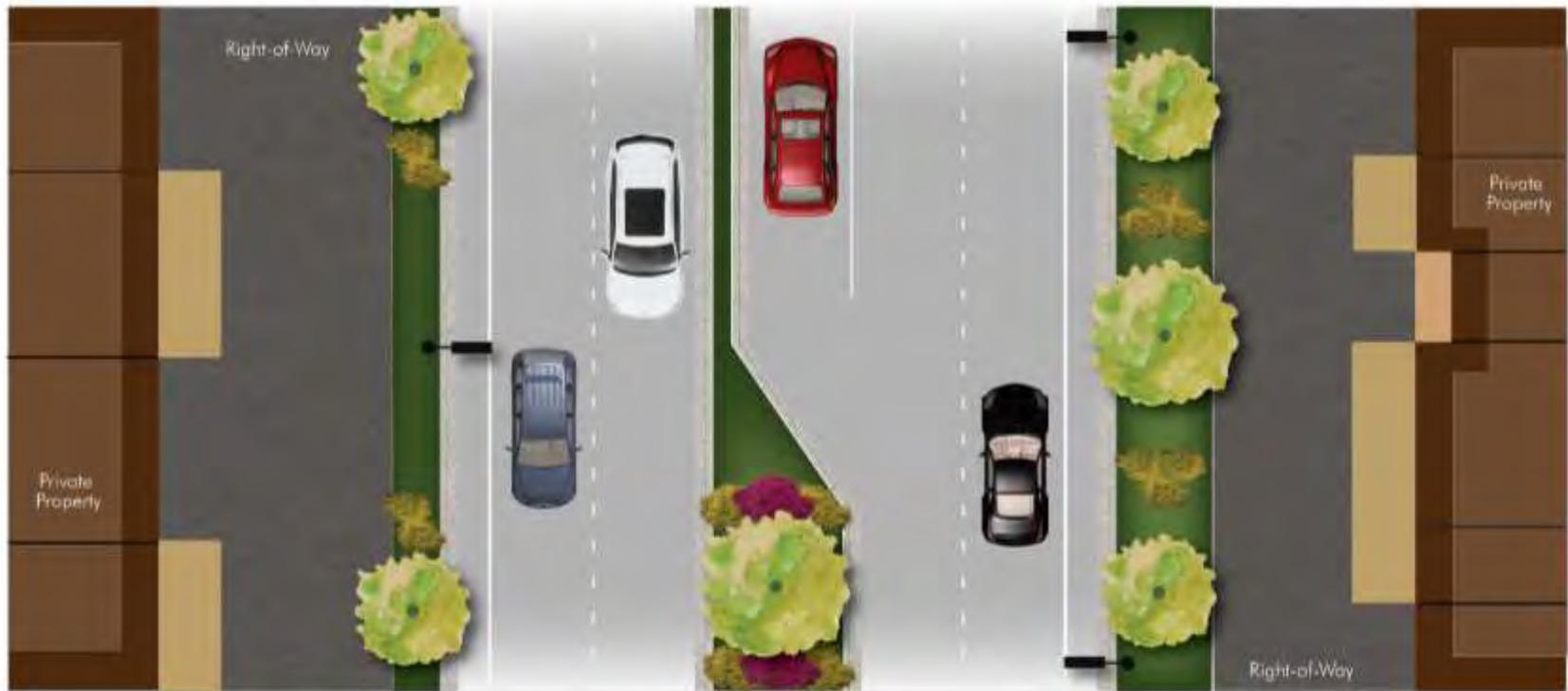


Figure 16: Roadway Section and Plan - Active

Transition

The transition segment incorporates both development and nature, including the topography, forests, natural systems and open spaces. As development within the transition place type occurs nature should be a theme of the development pattern, including both natural and created green space. The character of the corridor should remain natural until development takes place. This area should subtly define the change from the natural segments of the corridor to the west and the active, destination segment at the east end of the corridor.

One simple rule guides the development of transition places; *the balance of development and nature will define the character of the area.*

The transition segment of the Highway 45 Corridor is generally between Lakecrest Lane and Crooked Road (north of Highway 45). The area is currently a mix of developed and undeveloped properties with the largest development being the National Two Golf Course. The golf course introduces a man-made, manicured natural area to the corridor. The introduction of this type of green space, in conjunction with the preservation



Figure 17: Transition Segment

of natural areas should define the future character of this segment.

The roadway design for the transition segment should mirror that of the natural segment, and the development pattern is similar to that of the active segments. The connection, both design and physical, between the streetscape and improved site landscape is an important character of the within the transitional section.



Green Features

Figure 18 provides an illustrative concept of development appropriate for the transition segment of the corridor. The corridor and improvements appropriate within the transition are the same as in the natural corridor segment. The development improvements in the transition segment of the corridor should evolve to meet the pattern of development within the active corridor segments.



Figure 18: Corridor / Development Concept - Transition

PLACE

Places within the Highway 45 corridor are defined as those special locations that represent the design quality of the corridor.

Two types of places have been identified; the Crossroads and the gateways. Additionally, two types of gateways have been identified, community gateways that provide entry and regional identification for the corridor, and corridor gateways that provide corridor identification opportunities within the corridor. Each of the places contribute to the identification and design character of the corridor.



Civic Space



Gateway Feature



Themed Development



Icon Feature

Crossroads

The intersection of Highway 45 and Missouri-K provides an opportunity to create a development center that serves the surrounding area within a natural setting. The context and the design character of development should remain natural, but the pattern should be similar to that of a smaller-scale active center. Future development in this area should seek to limit the impact on the visual aesthetic of the Highway 45 corridor, providing only hints of the adjacent development through breaks in the streetscape and landscape to reveal the country/small town architecture, signage and amenities.

One simple rule guides the development of the crossroads; ***a village found in nature will serve the area, and enhance the natural character of the area.***

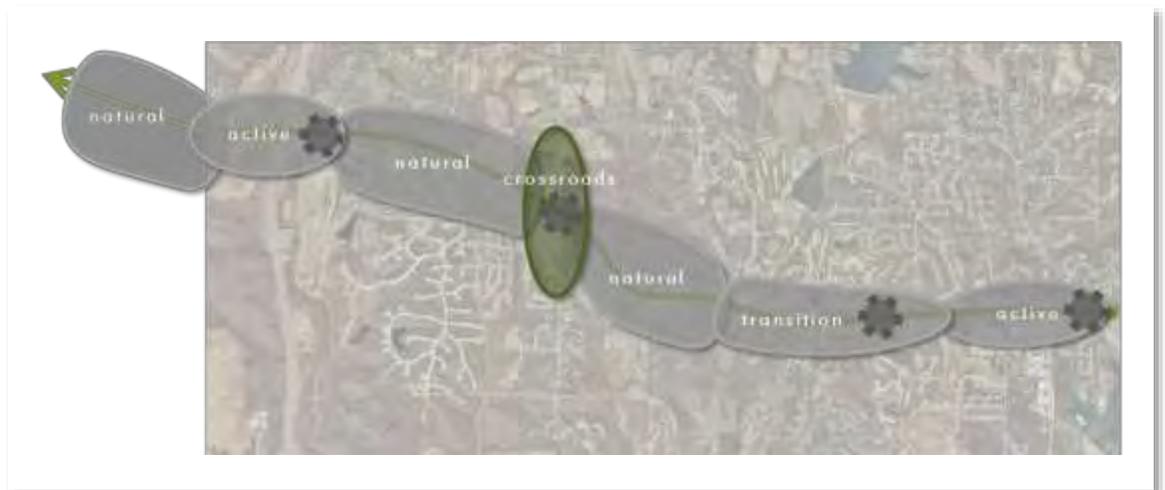


Figure 19: Crossroads Segment



Limited Development



Adjacent Development Buffered

Crossroad Design	Development and improvements create a countryside village that is connected, provides services and is design with nature.
<i>Corridor Design</i>	
streetscape	Planted and treed within the right of way. Use of natural streetscape elements, plantings, stone and other elements will enhance the natural character.
amenities	Pedestrian and bicycle amenities, benches, bike racks, light etc. will enhance the connectivity of the crossroad development to the surrounding neighborhoods.
connectivity	Connectivity of the crossroads by roadway, trail and sidewalk is necessary to surrounding neighborhoods.
access	Automobile access from the MO-K will preserve the natural character of Highway 45. Direct sidewalk and trail access should be encouraged.
<i>Site Design</i>	
orientation	Development should be oriented away from Highway 45 and screened from view.
scale	Development should be of a natural design character, including a scale that is supportive of the surrounding neighborhoods and the natural setting. Up to 2 stories in height would be appropriate.
landscape	Landscape should soften the development and screen it from Highway 45, providing only small glimpses of what is beyond the corridor. Small civic / public spaces should support development.
parking	Parking should be located away from Highway 45 and landscaped to reduce visual impact on the corridor.
signage	Signage that uses natural materials should provide limited notification of the crossroad development.
design details	The design character should incorporate nature thorough the use of natural building materials – stone, masonry and wood – as the primary materials, and support from contemporary materials.

Figure 20: Design Character - Crossroads

Figure 21 provides an illustrative concept of development appropriate for the crossroads segment of the corridor. The corridor and development improvements appropriate within the crossroads are the same as in the natural corridor segment.

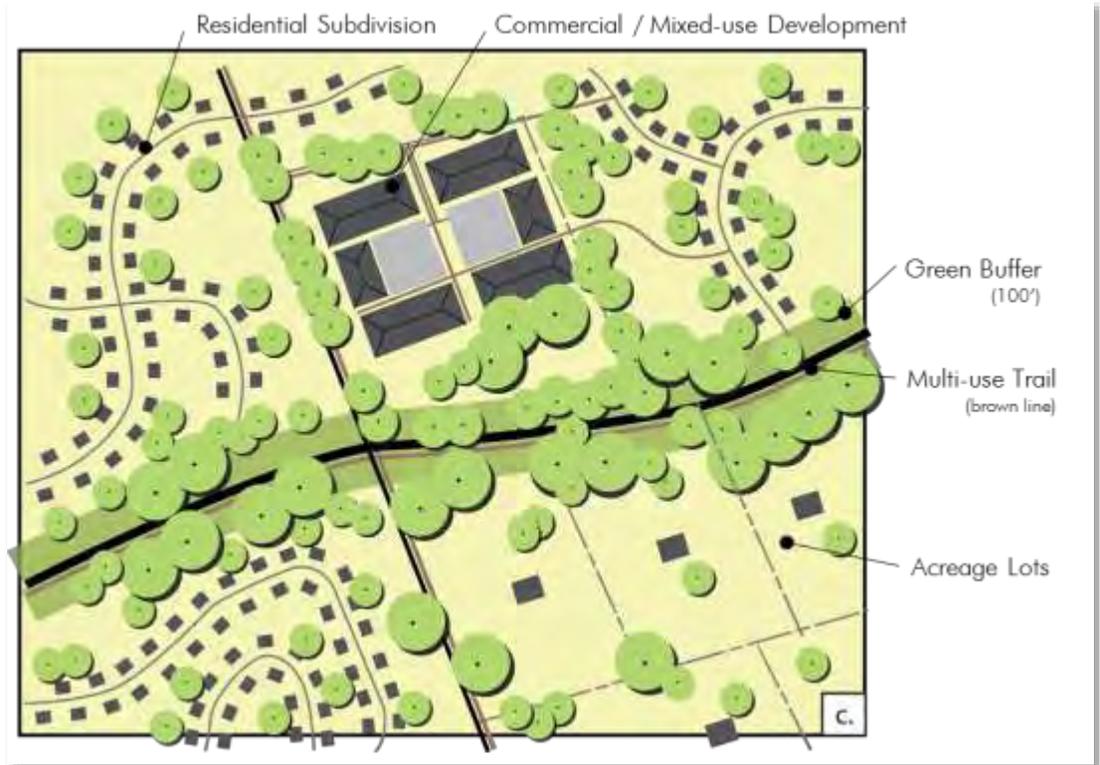


Figure 21: Corridor / Development Concept - Crossroads

Gateways

Various places along the corridor provide an opportunity to identify the corridor and communities to users. The community gateways are an opportunity for Parkville and Platte County to identify themselves and their relationship to the corridor. These gateways are at the edges and entry points to the corridor, near Highway 9 and I-435. The corridor gateways are opportunities within the corridor to provide a signature gesture that identifies the corridor. Improvements for either type of gateway can be in the form of art, public improvements, signage or the development pattern and character. Any gateway feature created should be in keeping with the character of the underlying corridor segment. Similarly, there should be a consistency in the design of the gateways throughout the corridor, through the use of similar materials, shape or style.



Figure 22: Gateway Locations

IMPLEMENTATION

The Highway 45 corridor is a valuable asset to Southern Platte County and the communities it serves, like Parkville. The benefits of the corridor include physical, social and economic. As the corridor continues to develop it is important to remember that all of these aspects are important and that the corridor will best provide for the area when they are in balance.

It is also important to remember that the implementation of the improvements to the corridor will take time. The challenges to implementing the corridor vision including, funding, ownership and safety restrict rapid change to the corridor. However, it is time to focus on improvement of the Highway 45 corridor as an undervalued asset in the region. The physical improvements to the corridor and adjacent development will provide the platform to generate community and regional value.

To enhance the implementation potential of the plan recommendations the following items are activities to focus the community attention.



Natural Segment Concept



Active Segment Concept

CORRIDOR IMPROVEMENTS

Improvements to the public portions of the corridor need to be proactive and collaborative to be successful. Thus, different sources of funding and implementation need to be pursued.

Capital Improvements Programming (CIP)

Corridor improvement projects, for implementation and maintenance, should be an annual request within the Platte County and City of Parkville CIP processes. Public funding should be packaged or leveraged to provide a greater impact with improvements to the corridor.

Development Improvements

Explore the creation of the Corridor Capital Fund that would provide necessary capital for the improvement and maintenance of the corridor. The necessary steps to create the account include:

- Define a minimum specification for the capital improvement of the corridor – sidewalk, streetscape and amenities, etc.
- Require development to build to the minimum standard or make a payment in lieu of construction that goes in to the capital fund for future projects.

Street Tree List

Establish a preferred tree list to identify suitable trees for street tree planting. Use the *Great Trees for the Kansas City Region* as a resource. The resource is available at:

gouldevans.com/treelists/GreatTrees.pdf

Alternative Funding Sources

In addition to traditional funding sources including local, state and federal government sources, non-traditional sources should be pursued for the implementation and long-term maintenance of improvements. Sources could include:

- Community Improvement / Transportation Development Districts – The creation of a taxing jurisdiction to dedicate funding to improvements and maintenance of the corridor improvements, should be investigated.
- Public / Private Partnerships – Opportunities for public and private entities to support an improvement should be pursued. Either for implementation or long-term maintenance

of the improvement, relationships should be forged to make implementation happen.

- Grants – Money, in the form of grants or forgivable loans, from non-profit agencies that can assist in the implementation of improvements should be considered. Where possible grant money should be leveraged to expand the impact of the money provided.

Pursuit of these different methods of funding and improvements should not preclude the continued pursuit of traditional funding measures.

DESIGN TOOLS

Design tools will address future development adjacent to the corridor to ensure that it supports the public improvement and provides the quality and character that this plan prescribes. When possible the design tools should be coordinated with the Corridor Improvements to maximize the impact of changes in the corridor.

Design Overlay

The intent of creating a design overlay is to guide the character and quality of development with the Highway 45 corridor. The overlay district would complement the use, size and site standards in the Platte County and Parkville zoning ordinances to implement the design guidance of this plan. The creation of a design overlay for the entire corridor would also provide consistent guidance for future development in both Platte County and Parkville. The City of Parkville is currently in the process of updating their zoning ordinance and the creation of this overlay district is anticipated as part of that project, and will be provided to Platte County for their use.

Figure 23 identifies the topics and guidance to be addressed in the overlay district:

Design Element	Natural (applicable to transition and crossroads)	Active
building form	Establish the separation of development and the roadway, tied to the buffer types identified in the plan. Encourage low-scale development to support the natural character of the segment.	Establish a walkable, connected development pattern and a scale and intensity of development that encourages activity.
landscaping	Establish the buffer types and landscaping requirements tied to the setback of development.	Establish a system of civic / public spaces that relates to the streetscape and support development.
access	Establish a pattern of limited access to adjacent property from Highway 45. Encourage access to occur from side streets and limit new access point to the corridor.	Establish an access network to support development and improve connectivity for users. Encourage site / business access from side streets.
parking	Establish parking as a secondary site use and limit parking areas away from the corridor. Establish landscape standards that hide the parking and complement the natural	Establish parking as a secondary site use and restrict parking to behind, or limited amounts of parking to the side of, a building. Explore methods to reduce off-street parking, by allowing on-street parking to fulfill parking requirements.
design	Establish a natural materials design palette for buildings and improvements to include – stone, masonry, wood and fiber materials. Consider natural metals also.	Establish a contemporary design palette for buildings and improvements – glass, stucco, metal, etc. - that includes the use of natural materials for consistency throughout the corridor.

Figure 23: Design Overlay Framework

AN ORDINANCE AUTHORIZING AN AGREEMENT BETWEEN PLATTE COUNTY, MISSOURI AND THE CITY OF PARKVILLE, MISSOURI FOR THE JOINT DEVELOPMENT OF A HIGHWAY 45 CORRIDOR PLAN AND AN AGREEMENT BETWEEN BOTH PARTIES AND GOULD EVANS ASSOCIATES, P.A. FOR CONSULTING SERVICES ON SAID PROJECT.

BE IT ORDAINED BY THE BOARD OF ALDERMEN OF THE CITY OF PARKVILLE, MISSOURI, AS FOLLOWS:

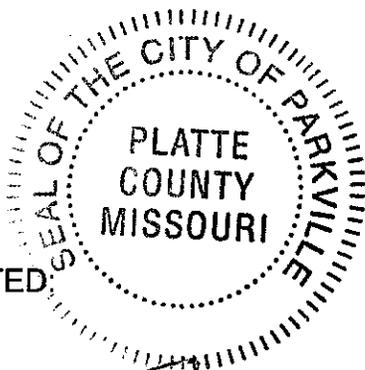
Section 1. The Mayor and Interim City Administrator are hereby authorized and directed to sign the *Agreement Between the County of Platte and the City of Parkville for the Highway 45 Corridor Plan*, attached hereto and incorporated herein by reference as Exhibit 1, for the joint development and funding of a Highway 45 Corridor Plan.

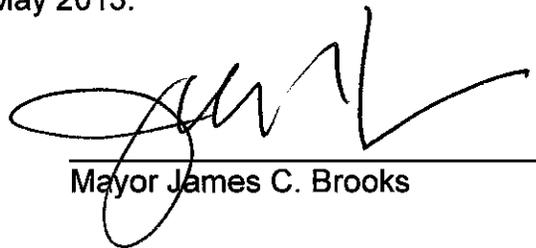
Section 2. Per said Agreement the Board does hereby authorize the expense of \$20,000 toward the cost of said plan and the commitment of staff time and resources as defined in the agreement.

Section 3. The Mayor is hereby authorized and directed to sign the agreement for consulting services with Gould Evans Associates, P.A. for professional planning services for the Highway 45 Corridor Plan, attached hereto and incorporated herein by reference as Exhibit 2, and including the *Scope of Services* attached thereto and incorporated therein as Attachment A.

Section 4. This ordinance shall be effective upon the execution of said agreements by all parties.

PASSED and APPROVED this 7th day of May 2013.





Mayor James C. Brooks

ATTESTED



Assistant City Clerk Tracy L. Sisney



PLATTE COUNTY COMMISSION

BEVERLEE ROPER
1ST DISTRICT COMMISSIONER

JASON BROWN
PRESIDING COMMISSIONER

DUANE SOPER
2ND DISTRICT COMMISSIONER

COURT ORDER: 2013 -CO-220

Department: Planning and Zoning

Prepared by: Daniel Erickson

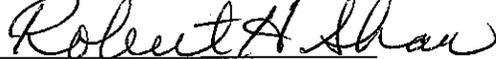
Court Order Title: Highway 45 Corridor Agreement – Platte County/Parkville

Description / Background / Rationale:

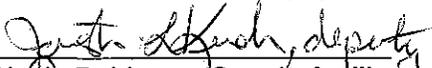
This Agreement is between Platte County and the City of Parkville. The County and City, through the implementation of their respective Land Use Plans, outline the importance of corridor preservation along the Highway 45 corridor. The County and City seek to form a partnership with the purpose of completing a Corridor Plan to identify their common vision, goals and objectives, and standards for that portion of 45 Highway in the County and City.

Budget Impact: \$0

Approved as to form and legality

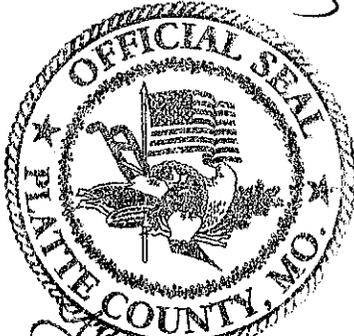

Robert H. Shaw, County Counselor

Pursuant to Sections 50.660 and 55.160 RSMo., I certify that there is an unencumbered balance or anticipated revenue to be placed to the credit of the appropriation to which the foregoing expenditure is to be charged, and an unencumbered cash balance or anticipated revenue in the treasury to the credit of the fund from which payment is to be made, each sufficient to meet the obligation hereby incurred.


Keyin Robinson, County Auditor

APPROVED BY THE COUNTY COMMISSION OF PLATTE COUNTY, MISSOURI, ON

THIS 6th DAY OF May, 2013.



ATTEST:



Joan Harms
County Clerk



Jason Brown
Presiding Commissioner



Beverlee Roper
1st District Commissioner



Duane Soper
2nd District Commissioner

AGREEMENT
Between the
County of Platte and the City of Parkville
for the
Highway 45 Corridor Plan

This Agreement, made and entered into this 8th day of May, 2013, is by and between Platte County, Missouri (County), a county of the first classification, and the City of Parkville, a municipal corporation (City); and

WHEREAS, Highway 45 is a major thoroughfare extending across much of southern Platte County; and

WHEREAS, Highway 45 traverses the City of Parkville and unincorporated portions of Platte County; and

WHEREAS, the County and City, through the implementation of their respective Land Use Plans, outline the importance of corridor preservation along the Highway 45 corridor; and

WHEREAS, the County and City seek to form a partnership with the purpose of completing a Corridor Plan; and

WHEREAS, the County and City requested proposals from qualified individuals and firms to provide professional consulting services for the Corridor Plan and jointly evaluated consultants and selected Gould Evans to provide said services; and

WHEREAS, a contract for service with Gould Evans shall be approved by separate action.

NOW, THEREFORE, in consideration of the premises and of the agreements set forth hereinafter, the County and City agree as follows:

1) The Corridor Plan & Management.

- a) Corridor Plan. The Corridor Plan shall be completed in accordance with a separately approved contract for service.
- b) Project Leaders. The County and City shall each designate a staff member to serve as Project Leader. The Project Leaders shall jointly be responsible for the Corridor Plan project oversight, management, reporting to their perspective Commissions and Boards and other related project coordination.
- c) Plan Adoption. It is the intent of the County and City to jointly adopt and implement the Corridor Plan upon project completion. Due to the differences in the County and City codes, ordinance and regulations, any adoption and implementation is expected to vary.

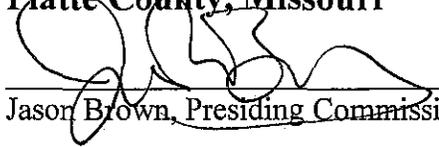
2) Fund Management and Disbursements.

- a) Fund Management. The County shall act as the fiscal agent for the project and shall establish a separate fund dedicated as the Corridor Plan Project Fund.
- b) Fund disbursements. All invoices shall be reviewed against the contract for services and approved by the County and City prior to payment. The Project Leaders shall establish a process that ensures fund disbursements are made in a timely manner.
- c) Remaining Funds. Upon completion of the Corridor Plan and payment of all invoices, any remaining funds in the Corridor Plan fund shall be returned to the County and the City based on the percentage of contribution.

- 3) Commitment of Resources.
- a) From the County. The County will contribute TWENTY THOUSAND DOLLARS (\$20,000) to the Corridor Plan Project Fund for the preparations and completion of the Corridor Plan.
 - b) From the City. The City will contribute TWENTY THOUSAND DOLLARS (\$20,000) to the Corridor Plan Project Fund for the preparations and completion of the Corridor Plan. The City will transfer TWENTY THOUSAND (\$20,000) to the fund when any contract for services relating to the Corridor Plan project are approved.
 - c) Additional Resources. The County and City agree to provide data, mapping, and staff resources needed to complete the Corridor Plan.
- 4) General
- a) Nothing contained in this Agreement is intended to cause the County or City to be regarded as joint ventures, employees or agents of each other.
 - b) The validity, legality and matters relating to the interpretation of this Agreement shall be governed by the laws of the State of Missouri.
 - c) This Agreement shall remain in effect until amended or terminated by written agreement of the parties.
 - d) Nothing contained in this Agreement is intended to confer personal liability upon any officer, director, employee or agent of either party.

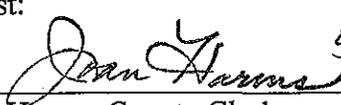
IN WITNESS WHEREOF, the parties herein have executed this Agreement as of the date first written above.

Platte County, Missouri

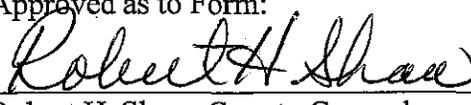

Jason Brown, Presiding Commissioner



Attest:

 5.6.13
Joan Harms, County Clerk

Approved as to Form:


Robert H. Shaw, County Counselor

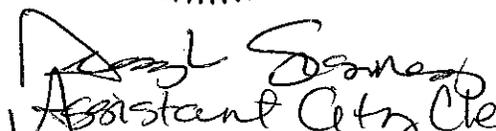
City of Parkville, Missouri


James C. Brooks, Mayor

Attest:

 5-8-13
Sean Ackerson, Interim, City Administrator




Assistant City Clerk



PLATTE COUNTY COMMISSION

BEVERLEE ROPER
1ST DISTRICT COMMISSIONER

JASON BROWN
PRESIDING COMMISSIONER

DUANE SOPER
2ND DISTRICT COMMISSIONER

COURT ORDER: 2013 -CO-221

Department: Planning and Zoning

Prepared by: Daniel Erickson

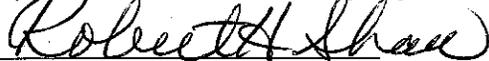
Court Order Title: Highway 45 Corridor Plan Consultant Services Agreement

Description / Background / Rationale:

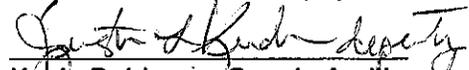
This Agreement is between Platte County/Parkville and Gould Evans. Platte County/Parkville submitted a Request of Proposal in the winter of 2012 for consultant services to help develop a Highway 45 Corridor Plan. The County and City, through the implementation of their respective Land Use Plans, outline the importance of corridor preservation along the Highway 45 corridor. Several firms were interviewed and Gould Evans was selected as meeting the needs for project. The maximum cost of this agreement is \$40,000. The cost is being split 50/50 between Platte County and Parkville. Platte County's \$20,000 portion obligated under this agreement is a budgeted item.

Budget Impact: \$40,000

Approved as to form and legality

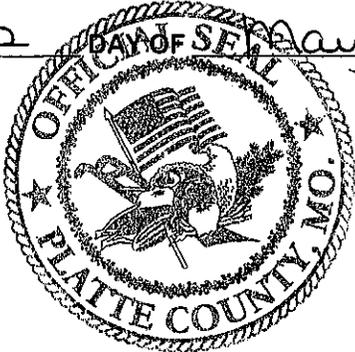

Robert H. Shaw, County Counselor

Pursuant to Sections 50.660 and 55.160 RSMo., I certify that there is an unencumbered balance or anticipated revenue to be placed to the credit of the appropriation to which the foregoing expenditure is to be charged, and an unencumbered cash balance or anticipated revenue in the treasury to the credit of the fund from which payment is to be made, each sufficient to meet the obligation hereby incurred.


Kevin Robinson, County Auditor

APPROVED BY THE COUNTY COMMISSION OF PLATTE COUNTY, MISSOURI, ON

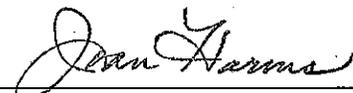
THIS 6th day of May, 2013.




Jason Brown
Presiding Commissioner


Beverlee Roper
1st District Commissioner

ATTEST:


Joan Harms
County Clerk


Duane Soper
2nd District Commissioner

THIS AGREEMENT made this __ day of May, 2013 by and between the Platte County and the City of Parkville ("Client") and Gould Evans Associates, P.A., a Missouri Professional Association ("Consultant").

WITNESSETH

WHEREAS, the Client desires to engage the Consultant to render certain agreed upon professional planning services for Highway 45 Corridor Plan, and the Consultant is willing to provide such services, all upon the terms set forth below.

NOW THEREFORE, in consideration of these premises, the parties hereto agree as follows:

1. **Scope of Services:** The Consultant will undertake work assigned by Client relating to *Attachment A: Scope of Services*.
2. **Time and Performance:** The Consultant's services shall commence upon execution of this Agreement by both parties. Once approved by the Client, the Consultant shall complete the tasks described in the Scope of Services within __ months from the date of execution of this Agreement, unless delayed by circumstances beyond Consultant's control.

The Consultant will exercise reasonable skill, care and diligence in the performance of its services, and will carry out its responsibilities in accordance with the customarily accepted planning practices in Consultant's community. The Client shall be responsible for the timely delivery of data and support information requested by the Consultant in a manner that will allow the Consultant the ability to perform its services within the time frame noted above.

Compensation: The Consultant shall be compensated, a fixed fee not-to-exceed Forty Thousand Dollars, including reimbursable expenses. Consultant will bill on a monthly basis of percentage of work completed by project phase, up to the maximum fees stated above. Consultant will not exceed the maximum fees stated above without written authorization from the Client. The fees shall be based on the task and fee schedule in *Attachment B: Project Budget*.

3. **Payment:** The Client shall pay the amount due within 30 days after receipt of Consultant's invoice. If the invoice is not paid within 30 days, the Consultant may suspend services upon written notice to the Client. If a portion of the Consultant's statement is disputed, the Client shall pay the undisputed portion by the due date. Interests on amounts due and unpaid shall accrue at the rate of 1.5% per month from date due until paid. In any action to recover payment due, Consultant shall be entitled to recover its attorney's fees costs. The Client shall advise the Consultant in writing of the basis for any disputed portions of the statement within 7 days of receipt of invoice. Undisputed portions of the invoice shall be timely paid by Client notwithstanding such disputed portions.
4. **Time and Expense Records:** The Consultant shall keep and maintain time and expense records relating to the scope of services described above, together with supporting receipts, vouchers, and appropriate documentation. As necessary, these records and other appropriate documentation may be required to support invoices submitted to the Client. The Client shall have the right to examine such records as it deems necessary upon reasonable notice to the Consultant at Consultant's place of business during normal business hours.

5. **Authorization of Changes:** Any changes or additional tasks required for the performance of this Agreement and any compensation due for the provision of additional services shall only be authorized by the Client in writing, and the Consultant shall first request such changes in writing. The Consultant shall be compensated for any additional tasks so approved and authorized, based upon a fee determined by the Consultant and Client for such additional professional services.
6. **Liability:** The Consultant agrees to indemnify and hold harmless the Client, its employees, officials, agents and representatives, from any and all losses of whatever kind to the extent caused by Consultant's negligent acts of failure to act in performance of this Agreement. To the extent allowed by law, the Client agrees to indemnify and hold harmless the Consultant, its staff and employees and affiliates from any and all losses of whatever kind to the extent caused by Client's negligent acts or failure to act in performance of this Agreement.
7. **Disputes/Termination:** Each party may terminate this Agreement with ten (10) days' written notice to the other party. In the event of such termination, provided the consultant is not then in default under this Agreement, the Client shall pay the Consultant its compensation and expenses to and through the actual date of termination, upon documentation of those costs by written invoice to the Client.
8. **Ownership of Documents:** Upon receipt of final payment by Consultant, all original final documents, studies or graphic materials, drawings, plans and digital files prepared by the Consultant shall be deemed property of the Client except as to confidential matters or trade secrets of the Consultant (if identified as such in writing by the Consultant), but only after the final payment by the Client for the same. The Consultant shall be permitted to retain copies, including reproducible copies, of the Consultant's drawings, specifications and other documents. The Client's right of ownership in all such documents shall not prohibit the Consultant from future utilization of design or planning drawings or concepts in the ordinary course of Consultant's business and the Client hereby grants the unrestricted permission to use all such data contained in the Consultant's drawings, text and other documents.

The Client shall prohibit any Contractor and its subcontractors or suppliers from utilizing the Consultant's drawings or other documents on other projects not authorized by the Client. In the case of any future reuse of the documents by the Client without Consultant's direct professional involvement, the Consultant's and Consultant's consultants' names shall be removed from all such documents and the Consultant shall not be liable to the Client in any manner whatsoever for their reuse. Due to the potential exposure to liability when reused, the Client agrees to indemnify and hold harmless the Consultant, Consultant's consultants, their agents, and employees, from and against any claims, damages, losses and expenses including, but not limited to, attorney's fees, arising out of or resulting from the Client's reuse of any such drawings or documents other than for use in this Project with Consultant's direct involvement, including any claims brought by any third-parties, and including any claims relating to the Consultant's or its consultants' negligent preparation of any such drawings or other documents. The Client's obligations under this paragraph shall survive any termination of this Agreement and shall be binding upon the Client's successors and assigns.

9. **Confidentiality of Findings:** Any reports, information, data or intellectual property whatsoever given or prepared as assembled by the Consultant under this Agreement shall not be made available to any individual or organization by the Consultant without the prior written approval of the Client, except for those uses specified in Item 10, Public Relations.

- 10. Public Relations:** Consultant shall have the right to retain and utilize copies of all work it produces on the Project for citation and dissemination in the Consultant's resume, brochures and other generally recognized forms of professional public relations.
- 11. Extent of Agreement:** This Agreement represents the entire and integrated agreement between the Client and Consultant and supersedes all prior negotiations, representations or agreement, either written or oral. This Agreement may be amended only by written instrument signed by both the Client and Consultant.
- 12. Severability:** Should any of the provisions of this Agreement be determined to violate any state law or City ordinance, that shall not affect the validity of the other terms of this Agreement and there shall be added to this Agreement a legal, valid or enforceable term or provision as similar as possible to the stricken provision.
- 13. Applicable Law:** Parties agree that Missouri law is controlling in interpreting this Agreement.
- 14. Insurance:** Consultant shall maintain, at its own expense, the following insurance with insurance companies reasonably acceptable to Client:
- (a) Professional Liability Insurance in the amount of five hundred thousand Dollars (\$500,000.00) (per claim and aggregate, with all coverage retroactive to the earlier of the date of this Agreement and the commencement of Consultant's services under this Agreement) covering personal injury, bodily injury and property damages to the extent caused by consultant's negligent acts, errors or omissions, which coverage shall be maintained for a period of three (3) years after the date of final payment under this Agreement.
 - (b) Commercial General Liability Insurance, occurrence form, (including completed operations and broad-form contractual liability) in the amount of five hundred thousand Dollars (\$500,000.00) combined single limit per occurrence and aggregate covering personal injury, bodily injury and property damage, which insurance shall name the Client as an additional insured.
 - (c) Commercial Automobile Liability Insurance, including owned, hired and non-owned vehicles, if any, in the amount five hundred thousand Dollars (\$500,000.00) covering bodily injury and property damage, which insurance shall name the Client as an additional insured.
 - (d) Worker's Compensation Insurance, which shall fully comply with applicable law, and employer's liability insurance with limits of not less than one hundred thousand Dollars (\$100,000.00) per accident / \$1 Million disease policy limit / \$1 Million disease each employee. Consultant shall provide a valid waiver executed by its workers compensation and employer's liability insurance carrier of any right of subrogation against Client or its employees for any injury to a covered employee working on Client's premises.

Upon execution of this Agreement, Consultant shall provide to Client Certificates of Insurance reflecting the required coverages at their request. The certificates shall specify the date when such insurance expires. Each policy and each Certificates of Insurance shall provide that Client shall be given not less than thirty (30) days' written notice before cancellation, non-renewal of coverage of such insurance except for non-payment. A renewal certificate shall be furnished to Client prior to the expiration date of any coverage, and Consultant shall give Client written

notice of any reduction or other material modification in such insurance no later than thirty (30) days prior to such change.

15. Assignment: Consultant shall not assign this Agreement or any part hereof, or the right to any payments to be received hereunder, without prior written consent of Client. However, Consultant may subcontract portions of the services the subconsultants without violating this provision.

IN WITNESS WHEREOF, the Parties hereto have caused this Agreement to be executed as of the day and year first written above,

FOR: **Platte County**



Jason Brown
Presiding Commissioner



Beverlee Roper
1st District Commissioner



Duane Soper
2nd District Commissioner

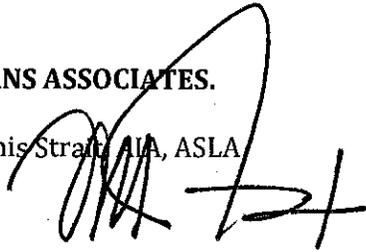
FOR: **City of Parkville**



James C. Brooks
Mayor

FOR:
GOULD EVANS ASSOCIATES.

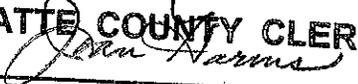
Name: Dennis Strain, AIA, ASLA

Signature: 

Title: Principal

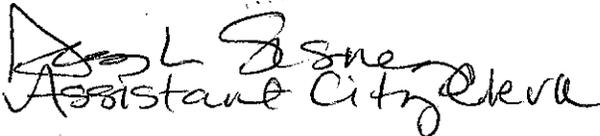
Date: 5/2/13

PLATTE COUNTY CLERK



JOAN HARMS 5-6-13




Assistant City Clerk

HIGHWAY 45 CORRIDOR PLAN
Parkville / Platte County, MO

1 May 2013

Scope of Services

Phase 1 - Corridor Assessment. The Corridor Assessment will identify a detailed history of the recent planning and development activities in the corridor, including applicable elements of the adopted Platte County and City of Parkville land use and master plans. Our team will further assess the corridor through a corridor tour, stake holder meetings and a preliminary steering committee meeting. From this assessment, our team will develop a preliminary list of opportunities, challenges, preliminary goals and initial concepts for public and private enhancements for the corridor. These concepts will become an important tool in helping the public articulate a long term vision for the corridor and the resulting near- and long-term goals and objectives, guides and regulations for the corridor.

The Corridor Assessment will focus on the following key tasks:

- Task 1-1 –Document Review. Review all existing documents including any available Highway 45 design and development concepts, each communities comprehensive plans, any relevant CIP documents or design manuals, and other relevant special topic plans such as trails or other small area and development plans
- Task 1-2 – Corridor Tour. All key consultant team members will participate in an intensive tour of the corridor with the City and County project managers. This tour will allow for better understanding of past efforts in corridor improvements as well as identifying future opportunities.
- Task 1-3 – Stake holder meetings. On the day of the tour the consultant team members will interview major corridor stakeholders, including MoDOT, representative city and county developers and land owners, utility operators, and other identified major stakeholders. This will allow for a better understanding of expectations, challenges and opportunities.
- Task 1-4 – Corridor Concepts Documentation. A range of potential future improvements for the corridor will be identified. It is critical that these be realistic options for near- and long-term improvements in the corridor, and identify a range of options for the “public realm” design to best integrate and shape future development along the corridor. These opportunities will be at a very conceptual level and help spur public dialogue on an overall vision for the corridor. These concepts will form the basis for discussion on the vision in the Corridor Plan in Phase 3.
- Task 1-5 – Steering Committee Meeting. Following the completion of the tasks above, the consultant team will meet with a Steering Committee organized by the City and County project managers. The purpose of this initial meeting is to report and confirm initial findings, review corridor concepts and seek additional direction prior to initiation of Phase 2.

Timeframe:

- Weeks 1-4

Deliverable

- Initial Corridor Concepts

Phase 2 - Development Framework. The Development Framework will document possible future development scenarios based on the existing Future Land Use Plans and policies in Parkville and Platte County's comprehensive plans. This framework will include an assessment of likely investments and development patterns based on existing regulations, as well as potential for new development concepts based on potential future investments in the public realm. Any gaps between current policies or regulations and envisioned responses to public realm investments will be documented and incorporated into the implementation responses.

The Development Framework will focus on the following key tasks

- Task 2-1. Development Analysis. A thorough review of existing plans (long range and immediate or pending project plans if any), review of development regulations and guidelines, assessment of utility access and land suitability, or any other existing conditions that could impact future development.
- Task 2-2. Development Conceptual Framework. Based on the development analysis and the corridor concepts a range of likely private development responses will be created. This review may further involve stakeholders such as developers, land owners or other interested parties, or alternatively could be done at a general level to assess overall capacity of the corridor for future development. These concepts are done at a general level to test the soundness of existing plans, policies and regulations and identify issues and goals that need to be further defined in the Corridor Plan Phase.
- Task 2-3 – Steering Committee Meeting. Following the completion of the tasks above, the consultant team will meet with the Steering Committee to report on the tasks above and seek additional direction prior to initiating Phase 3.

Timeframe:

- Weeks 4-8

Deliverable

- Development Conceptual Framework

Phase 3 -Corridor Plan. Based on public evaluation of both the Corridor Assessment and Development Framework, an initial corridor plan will be drafted. This plan will present a preferred option for coordinated investment in both the corridor and long-term private development. The initial draft will be a discussion draft for citizens, stakeholders and the development community to review and comment on.

- Task 3-1. Corridor Vision. The Corridor Vision will be created during a facilitated public meeting, focusing on the concepts documented in the Corridor Assessment and the Development Framework. These inputs into the public process will present a good foundation for public dialogue by focusing on opportunities and constraints for long-term investment in

the corridor. These concepts will be created to help compare and contrast a range of future development scenarios and identify those priorities most important to shaping long-term investment in the corridor. Based on input in this meeting an overall vision for the plan will be created.

- Task 3-2. Initial Draft Plan. Based on the Vision created in Task 3-1, an Initial Draft Plan will be created. This will include both public realm and private development concepts at a more refined level than both the comprehensive plans and the initial corridor concepts. This draft plan is a discussion draft, and will again be presented to stakeholders and the public for review, discussion and refinement.
- Task 3-3 – Steering Committee Meeting. Following the completion of the tasks above, the consultant team will meet with the Steering Committee to report the initial draft plan.
- Task 3-4. Corridor Plan. Based on discussion for the Initial Draft, a formal recommended plan will be presented. This plan will form the foundation for more specific implementation steps in Phase 4, and a public or stakeholder discussion on this draft will include prioritizing likely implementation strategies and approaches giving direction to successful integration of design and development concepts throughout the corridor.

Timeframe:

- Weeks 8-16

Deliverables:

- Meeting Materials and Results for Corridor Vision
- Initial Draft Plan
- Corridor Plan

Phase 4 -Strategic Implementation. Upon review, discussion and finalization of the corridor plan, a strategic implementation approach will be developed. This will include elements of future public realm investment for consideration and incorporation in the CIP of Parkville and Platte County, design concepts and “best practices” that focus on how to best coordinate public and private urban design elements of the plan, and possible regulatory solutions that address gaps between the envisioned future and existing regulations or guidelines. These strategies will be prioritized into an implementation program based on timing, order of magnitude costs, or possible policy or similar strategic steps that need to be refined prior to implementation.

- Task 4-1 – Public Realm Implementation Strategies. These strategies will focus on streetscape, trails or other strategies to be included for long-range improvement throughout the corridor. Though often public right-of-way strategies, they will also include design concepts for key interface elements such as trailheads, gateways or other key access points along the corridor.
- Task 4-2 – Development Implementation Strategies. These strategies will focus on development policies, and how incremental and discrete projects can best be guided over time to best support the vision and overall corridor design concepts. It will likely include

design guidelines and regulatory strategies such as an overlay district or other strategic amendments to the city and county development regulations that are unique to this corridor and the different places within it.

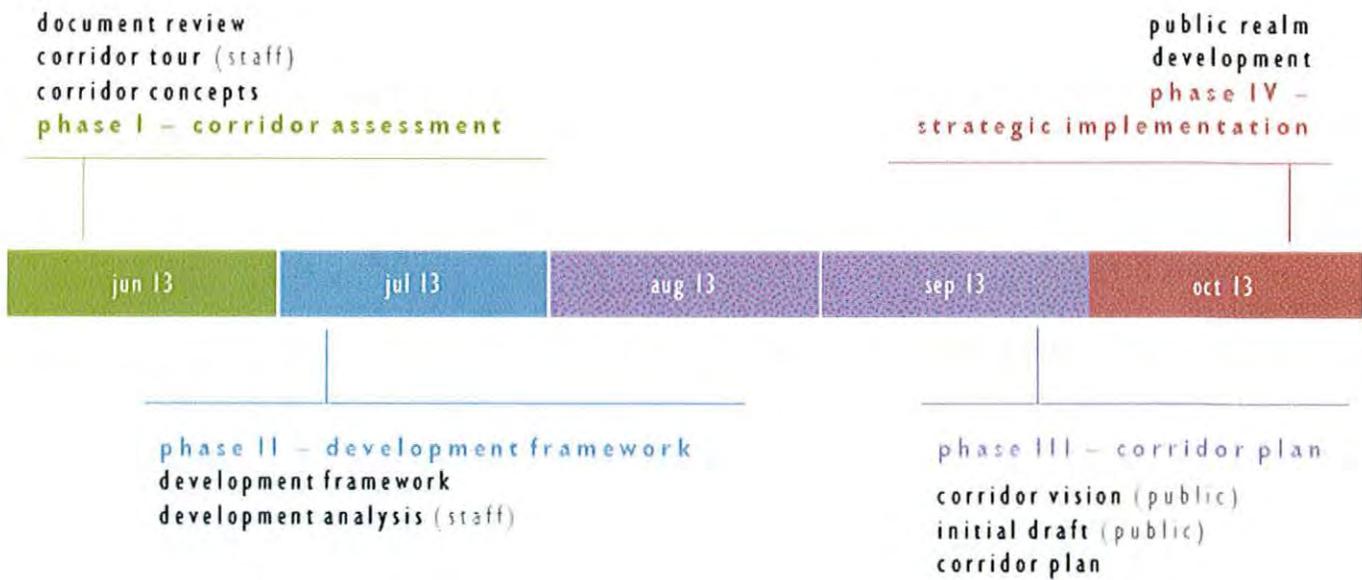
Timeframe

- Weeks 16-20

Deliverables:

- Implementation Recommendations and Supporting Documents

Project Schedule



CITY OF PARKVILLE
Policy Report

Date: Monday, July 11, 2016

Prepared By:
Melissa McChesney
City Clerk

Reviewed By:
Kevin L. Chrisman
Chief of Police

ISSUE:

Adopt an ordinance to amend Parkville Municipal Code Chapter 365 to add Section 365.105 *Driving while License Suspended or Revoked* regarding driving a motor vehicle with a suspended or revoked driver's license.

BACKGROUND:

Parkville Municipal Code Chapter 365 includes provisions prohibiting the operation of a motor vehicle without a driver's license but does not include provisions prohibiting the operation of a motor vehicle with a suspended or revoked license. While driving with a suspended or revoked license is not a minor traffic offense, the current Code treats it as such and should be updated. The addition of this section will allow the Municipal Court the ability to prosecute under the Driving While Suspended or Revoked provision as opposed to the current provision for driving without a valid driver's license, thereby matching the appropriate penalty to the violation. This issue has come up several times in the past few months so staff requests that both readings be at the same meeting so the Municipal Court can begin charging accordingly.

BUDGET IMPACT:

There is no impact to the budget.

ALTERNATIVES:

1. Adopt the ordinance.
2. Do not adopt the ordinance.
3. Postpone the item.

STAFF RECOMMENDATION:

Staff recommends adopting an ordinance to amend Parkville Municipal Code Chapter 365 to add Section 365.105 regarding driving a motor vehicle with a suspended or revoked driver's license.

POLICY:

The Board of Aldermen must approve all changes to the City's Municipal Code by ordinance.

SUGGESTED MOTION:

I move to approve Bill No. 2882, an ordinance amending Parkville Municipal Code Chapter 365 to add Section 365.105 regarding operating a motor vehicle with a suspended or revoked driver's license, on first reading.

I move to approve Bill No. 2882 on second reading by title only to become Ordinance No. ____.

ATTACHMENT:

1. Ordinance

AN ORDINANCE AMENDING PARKVILLE MUNICIPAL CODE CHAPTER 365 ADDING SECTION 365.105 REGARDING DRIVING WHILE LICENSE SUSPENDED OR REVOKED

WHEREAS, the Parkville Municipal Code includes provisions in Chapter 365 prohibiting the operation of a motor vehicle without a driver’s license but does not include provisions prohibiting the operation of a motor vehicle with a suspended or revoked driver’s license; and

WHEREAS, driving a motor vehicle while a license is suspended or revoked is not a minor traffic offense, but the current Parkville Municipal Code the Municipal Court treats the charge as a minor offense; and

WHEREAS, the added provision will allow the Municipal Court the ability to prosecute under the Driving While License Suspended or Revoked provision as opposed to driving without a valid driver’s license provision.

NOW, THEREFORE, BE IT ORDAINED BY THE BOARD OF ALDERMEN OF THE CITY OF PARKVILLE, MISSOURI, AS FOLLOWS:

SECTION 1. Parkville Municipal Code Chapter 365, Section 365.105 is newly created to read as follows:

Section 365.105. Driving while license suspended or revoked.

A person commits the offense of driving while suspended or revoked if such person operates a motor vehicle on a highway when such person’s license or driving privilege has been cancelled, suspended or revoked under the laws of this State, or any other State and acts with criminal negligence with respect to knowledge of the fact that such person’s driving privilege has been cancelled, suspended or revoked.

SECTION 2. This ordinance shall be effective immediately upon its passage and approval.

PASSED and APPROVED this 19th day of July 2016.

Mayor Nanette K. Johnston

ATTESTED:

City Clerk Melissa McChesney