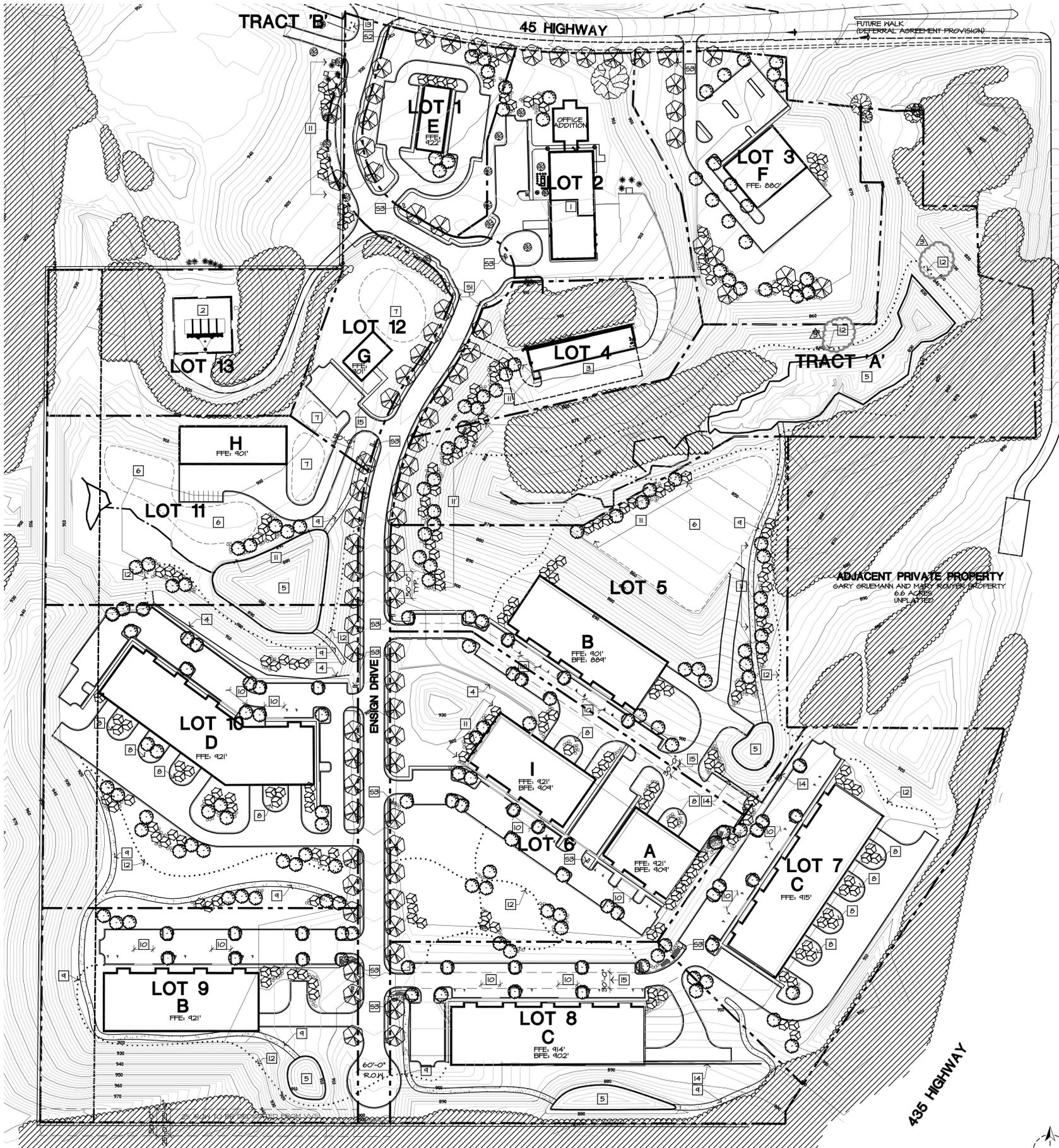




Legend

- | | |
|--------------------------|-----------------------------------|
| 1. Existing Building | 9. Pervious Paving |
| 2. Existing Trees | 10. Vegetated Swale |
| 3. Existing Cell Tower | 11. Entry Feature |
| 4. Existing Storage Yard | 12. Signage Location |
| 5. 100' Utility Easement | 13. Pedestrian Trails |
| 6. Detention Basin | 14. Flags |
| 7. Storage Yard | 15. Existing Rock Ledge to Remain |
| 8. Display Area | 16. Screening Example |
| | 17. Central Park |

Vertical Ventures III
 Site Plan
 August 21, 2007

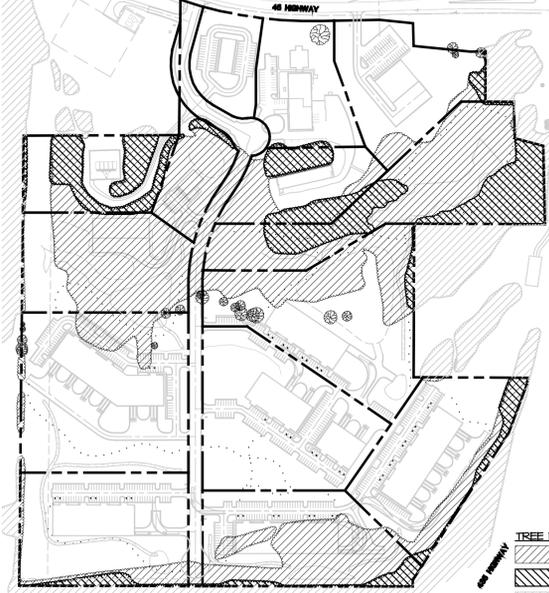


PARKING CALCULATIONS				
BUILDING TYPE	BUILDING DESCRIPTION	BUILDING AREA	REQUIRED PARKING RATIO	REQUIRED PARKING
TYPE 'A' (LOT 6)	OFFICE WAREHOUSE	5,000 SF OFFICE 10,000 SF WAREHOUSE/STORAGE	1 SP/200 SF OFFICE 1 SP/1,000 SF STORAGE	25 SPACES OFFICE 10 SPACES WAREHOUSE/STORAGE 35 SPACES TOTAL
TYPE 'B' (LOTS 5 & 4)	OFFICE WAREHOUSE	10,000 SF OFFICE 20,000 SF WAREHOUSE/STORAGE	1 SP/200 SF OFFICE 1 SP/1,000 SF STORAGE	50 SPACES OFFICE 20 SPACES WAREHOUSE/STORAGE 70 SPACES TOTAL X 2=140 SF
TYPE 'C' (LOTS 7 & 8)	OFFICE WAREHOUSE	12,000 SF OFFICE 21,600 SF WAREHOUSE/STORAGE	1 SP/200 SF OFFICE 1 SP/1,000 SF STORAGE	60 SPACES OFFICE 20 SPACES WAREHOUSE/STORAGE 80 SPACES TOTAL X 2=176 SF
TYPE 'D' (LOT 10)	OFFICE WAREHOUSE	15,500 SF OFFICE 31,000 SF WAREHOUSE/STORAGE	1 SP/200 SF OFFICE 1 SP/1,000 SF STORAGE	78 SPACES OFFICE 32 SPACES WAREHOUSE/STORAGE 110 SPACES TOTAL
TYPE 'E' (LOT 1)	2 STORY OFFICE	12,000 SF OFFICE	1 SP/200 SF OFFICE	60 SPACES TOTAL
TYPE 'F' (LOT 3)	OFFICE / WHOLESALE RETAIL	6,000 SF OFFICE 6,000 SF WHOLESALE RETAIL	1 SP/200 SF OFFICE 1 SP/1,000 SF WHOLESALE	30 SPACES OFFICE 6 SPACES WHOLESALE RETAIL 36 SPACES TOTAL
TYPE 'G' (LOT 12)	OFFICE	4,000 SF OFFICE	1 SP/200 SF OFFICE	20 SPACES TOTAL
TYPE 'H' (LOT 11)	GENERAL STORAGE	14,000 SF STORAGE	1 SP/600 SF STORAGE	23 SPACES TOTAL
TYPE 'I' (LOT 6)	OFFICE WAREHOUSE	8,000 SF OFFICE 16,000 SF WAREHOUSE/STORAGE	1 SP/200 SF OFFICE 1 SP/1,000 SF STORAGE	40 SPACES OFFICE 16 SPACES WAREHOUSE/STORAGE 56 SPACES TOTAL
EXISTING BLDG. (LOT 2)	OFFICE WAREHOUSE	8,000 SF OFFICE 8,000 SF WAREHOUSE/STORAGE	1 SP/200 SF OFFICE 1 SP/1,000 SF STORAGE	40 SPACES OFFICE 8 SPACES WAREHOUSE/STORAGE 48 SPACES TOTAL
PROPOSED OFFICE ADD. (LOT 2)	OFFICE	4,735 SF OFFICE	1 SP/200 SF OFFICE	24 SPACES OFFICE
TOTALS		85,235 SF OFFICE (91.1%) 121,000 SF WAREHOUSE/STORAGE (56.2%) 6,000 SF WHOLESALE RETAIL (2.7%) 210,335 SF TOTAL (100%)		421 SPACES OFFICE 131 SPACES WAREHOUSE/STORAGE 6 SPACES WHOLESALE RETAIL 558 SPACES TOTAL (REQUIRED) 558 SPACES TOTAL (PROVIDED)

- PLAN NOTES:**
- EXISTING BUILDING-TO REMAIN WITH PROPOSED OFFICE ADDITION
 - EXISTING CELL TOWER
 - EXISTING STORAGE YARD
 - EXISTING ROCK OUTCROPPING
 - PROPOSED DETENTION BASIN
 - OUTDOOR STORAGE YARD EXAMPLE. ENVISIONED STORAGE INCLUDES ITEMS SUCH AS, WHOLESALE MERCHANDISE FOR SALE, EQUIPMENT AND MATERIALS FOR SERVICE COMPANY. ALL OUTDOOR STORAGE TO BE SCREENED FROM PUBLIC VIEW. OUTDOOR STORAGE AREAS SHALL BE FURTHER SCREENED THROUGH BERMING AND OTHER TOPOGRAPHIC DESIGN PROVISIONS INCLUDING LOWERING STORAGE AREAS TO HELP OBSCURE DIRECT VIEWS.
 - PROPOSED DISPLAY AREA EXAMPLE
 - PERVIOUS PAVING MATERIAL. SEE DEVELOPMENT STANDARDS
 - VEGETATIVE SWALES
 - OPTIONAL OVERHEAD DOOR LOCATION
 - SCREENING EXAMPLE. SCREENING TO BE MIX OF EVERGREEN, DECIDUOUS TREES AND SHRUB MASSING ARRANGED TO SCREEN VIEWS TO STORAGE AREAS OF THE SITE
 - MULCHED WALKING TRAIL
 - FLAGPOLE ARRANGEMENT
 - PROPOSED RETAINING WALL
 - CROSS ACCESS EASEMENT LOCATION (LOTS 5, 6, 7, 8, 11 & 12)
 - CENTRAL PARK AREA. TO BE LANDSCAPED AND FURNISHED, UTILIZING BENCHES, TRASH RECEPTACLES FROM DEVELOPMENT STANDARDS TO CREATE A PARKLIKE SETTING

- SUGGESTED PLANTING SCHEDULE:**
- SHADE TREES / STREET TREES**
 - MAPLES
 - OAKS
 - LINDENS
 - BIRCH
 - SMALL SHADE / ORNAMENTAL TREES**
 - REDBUDS
 - DOGWOOD
 - CRABAPPLE
 - EVERGREEN TREES AND SHRUBS**
 - PINES
 - JUNIPER
 - SPRUCE
 - YEW
 - SHRUBS**
 - HYDRANGEA
 - LILAC
 - DOGWOOD
 - HYDRANGEA
 - SMALL SHRUBS, PERENNIALS, AND GROUNDCOVERS**
 - SPIREA
 - LIRIOPE
 - BARBERY
 - DAYLILY
 - BOXWOOD
 - SNOW-IN-SUMMER
 - YINGKA WINDOR
 - PERENNIAL MIX
 - VEGETATED SWALES**
 - ORNAMENTAL GRASSES
 - NATIVE GRASSES
 - CONIFERS
 - EXISTING TREES TO REMAIN**
- SIGNAGE TYPES:**
- 51 MONUMENT SIGNAGE; (RE: A10/SP1.02)
 - 52 DIRECTORY SIGNAGE; (RE: F10/SP1.02)
 - 53 TENANT SIGNAGE; (RE: F7/SP1.02)

- GENERAL NOTES:**
- LANDSCAPING SHOWN IS CONCEPTUAL IN NATURE. FINAL DEVELOPMENT PLAN WILL DEPICT DESIGN FOR DEVELOPMENT ON A LOT-BY-LOT BASIS. FINAL DESIGN WILL MEET B-P DISTRICT AND PARKING REGULATIONS.
 - PROPOSED DEVELOPMENT PLAN IS CONCEPTUAL IN NATURE DEPICTING ENVISIONED DESIGN FOR THE DEVELOPMENT. FINAL DEVELOPMENT PLANS WILL DEPICT IN DETAIL EACH LOT OR FACILITY.
 - ENVISIONED LANDSCAPE SCREENING TO INCLUDE NATIVE LANDSCAPING MATERIAL, USE AND APPLICATION THROUGHOUT THE DEVELOPMENT.



TREE MASSING KEY:
 [Hatched Box] EXISTING TREES
 [Dotted Box] PRESERVED TREES
 [Solid Box] EXISTING OFFSITE TREES

A10 PROPOSED DEVELOPMENT
 1" = 100'-0"
 XSITE

0 50 100 150 200
 NORTH

A4 TREE MASSING DIAGRAM
 1" = 300'-0"
 XTREEMASS-DIAGRAM

JOB NUMBER
 - 06087 -
ISSUE DATE
 04 / 27 / 07
REVISIONS
 05.24.07 SITE PLAN RESUBMITTAL
 07.25.07 SITE PLAN RESUBMITTAL
 08.15.07 SITE PLAN RESUBMITTAL

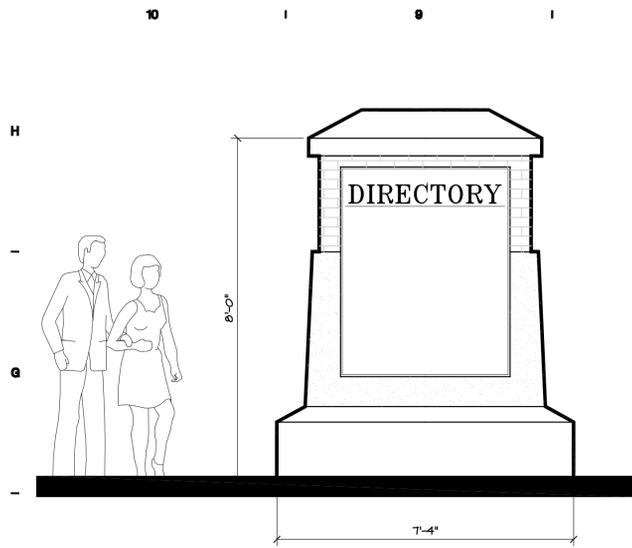
Williams Spurgeon
 Kuhl & Freshnock
 Architects, Inc. © 2007

VERTICAL VENTURES III
BUSINESS PARK
435 AND 45 HWY

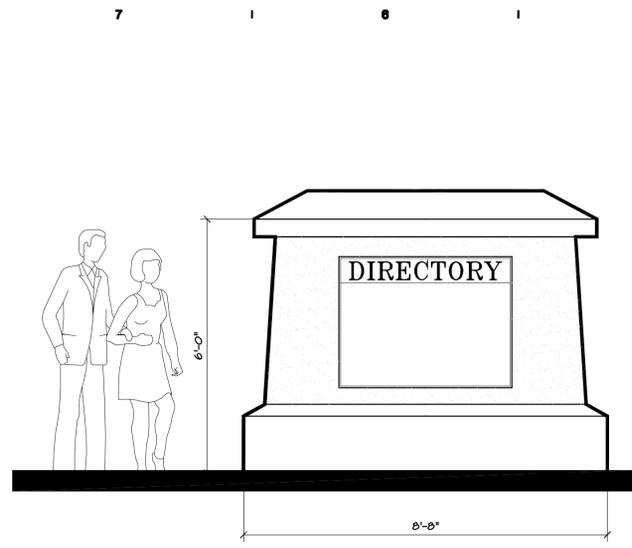
Williams
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SITE PLAN
SP1.01

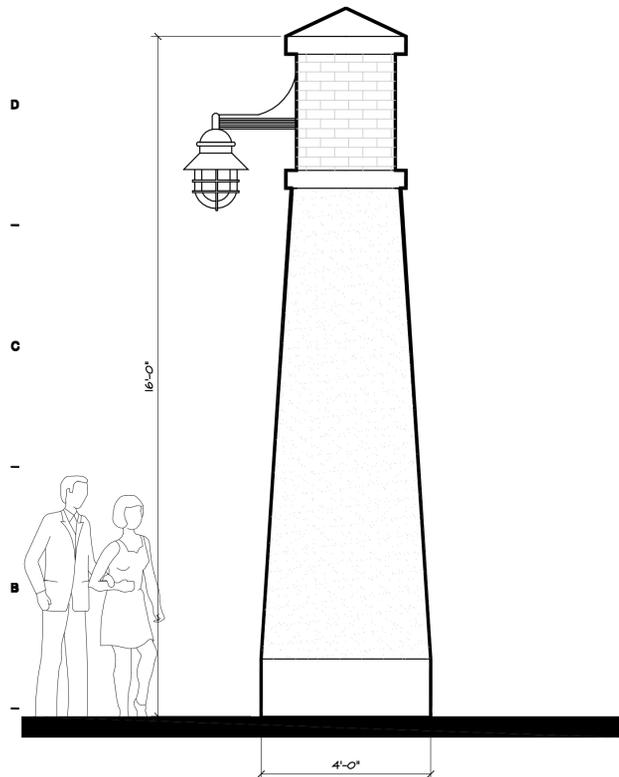
110 Armour Road · North Kansas City, Missouri 64116 · Tel. 816.300.4101 · Fax 816.300.4102



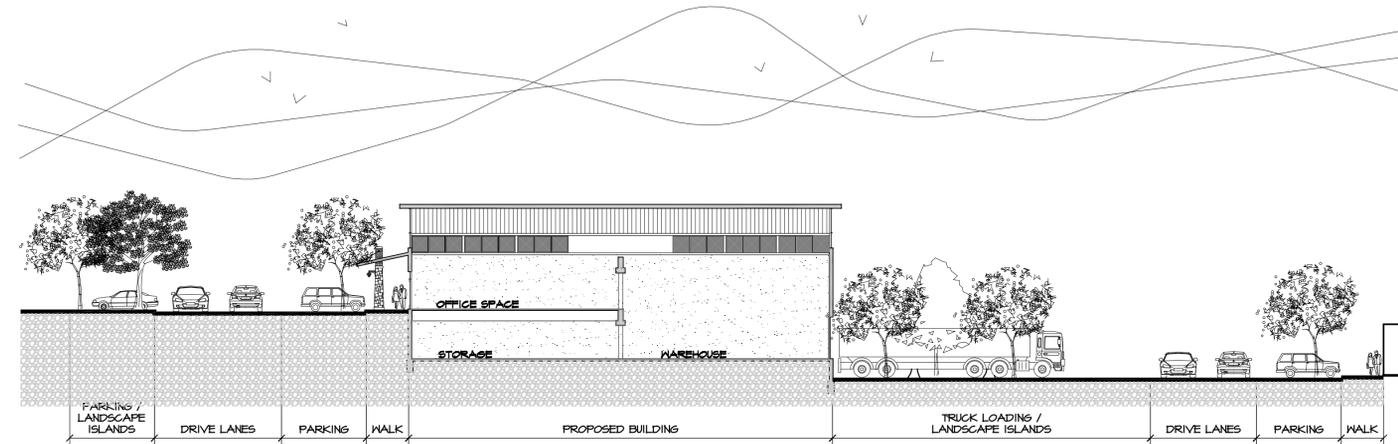
F10 DEVELOPMENT DIRECTORY EXAMPLE
1/2" = 1'-0" XSIGNAGE



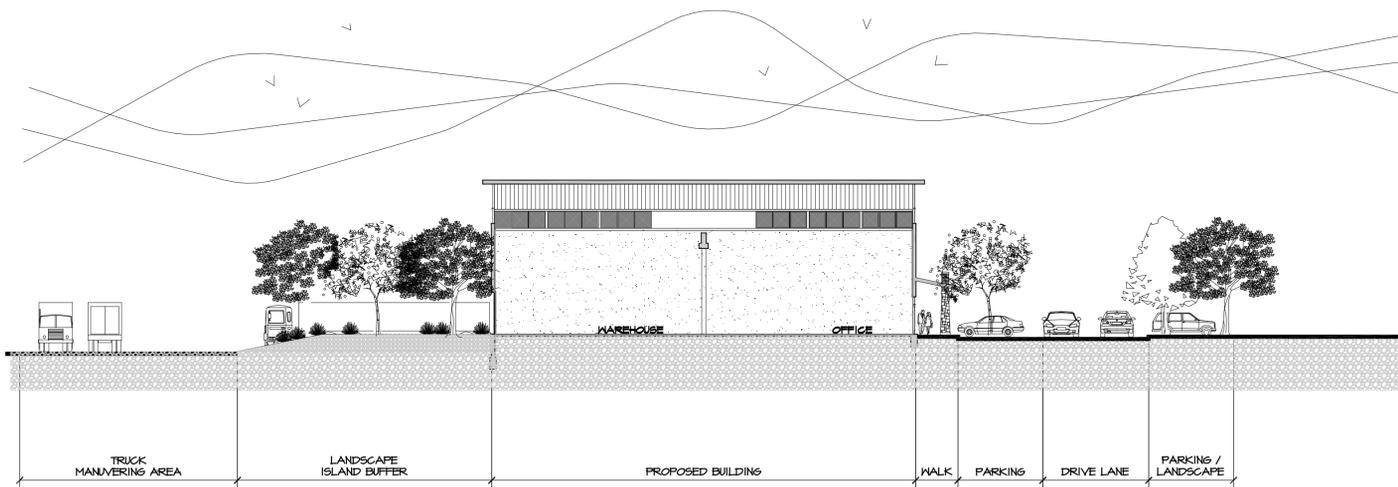
F7 TENANT DIRECTORY EXAMPLE
1/2" = 1'-0" XSIGNAGE



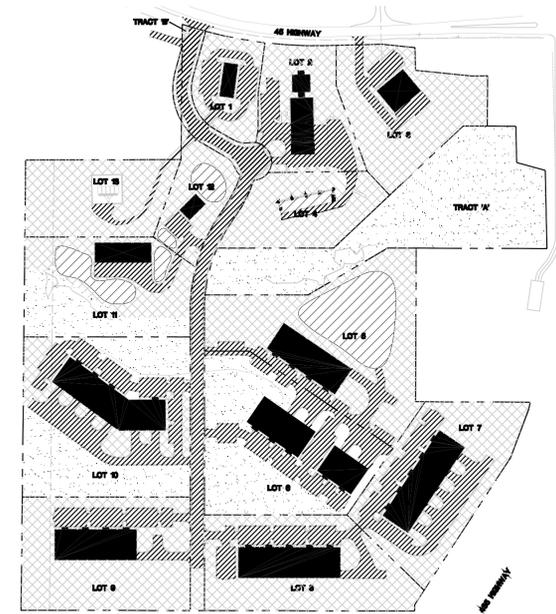
A10 BUSINESS PARK MONUMENT SIGN
1/2" = 1'-0" XSIGNAGE



D8 CONCEPTUAL BUILDING SECTION RAISED ENTRY / TWO LEVEL DESIGN
1" = 20'-0" XSECTION



A8 CONCEPTUAL BUILDING SECTION SINGLE LEVEL DESIGN
1" = 20'-0" XSECTION



LEGEND:

[Solid Black]	BUILDING AREA	[Diagonal Hatching]	SOFTSCAPING
[Horizontal Hatching]	PAVEMENT AREA	[Dotted]	OPEN SPACE
[Vertical Hatching]	STORAGE/DISPLAY AREA		

OPEN SPACE CALCULATIONS:

LOT NO.	BUILDING	PAVEMENT	STORAGE/DISPLAY	SOFTSCAPING	OPEN SPACE
PRIMARY ROAD & ROW	0 SF	93,613 SF	0 SF	32,710 SF	0 SF
LOT 1	6,000 SF	25,643 SF	0 SF	45,233 SF	
LOT 2	21,664 SF	41,812 SF	0 SF	71,623 SF	
LOT 3	12,000 SF	21,346 SF	0 SF	136,004 SF	
LOT 4	0 SF	17,615 SF	0 SF	103,414 SF	
LOT 5	32,056 SF	34,041 SF	76,252 SF	155,444 SF	
LOT 6	40,260 SF	76,571 SF	0 SF	26,627 SF	135,416 SF
LOT 7	40,044 SF	66,282 SF	0 SF	121,264 SF	
LOT 8	40,044 SF	47,912 SF	0 SF	137,167 SF	
LOT 9	32,156 SF	36,640 SF	0 SF	164,566 SF	
LOT 10	46,435 SF	84,675 SF	0 SF	53,171 SF	144,725 SF
LOT 11	14,000 SF	18,016 SF	28,983 SF	62,381 SF	78,354 SF
LOT 12	4,000 SF	9,156 SF	15,286 SF	48,275 SF	
LOT 13	1,450 SF	18,020 SF	0 SF	116,634 SF	
TRACT A	0 SF	0 SF	0 SF	0 SF	240,446 SF
TRACT B	0 SF	0 SF	0 SF	871 SF	
TOTALS	240,114 SF	602,508 SF	120,621 SF	1,281,554 SF	649,441 SF
	6.67 ACRES	13.83 ACRES	2.71 ACRES	29.4 ACRES	14.9 ACRES
	4.8%	20.5%	4.1%	43.6%	22.0%

*TOTAL ACREAGE MAY VARY SLIGHTLY FROM PRELIMINARY PLAT DUE TO MATHEMATICAL ROUNDINGS. REFER TO PRELIMINARY PLAT FOR ACTUAL ACREAGES.

A3 OPEN SPACE DIAGRAM
1" = 300'-0" XOPENSACE-DIAGRAM

JOB NUMBER
- 06087 -

ISSUE DATE
- 04 / 27 / 07 -

REVISIONS

08.24.2007	SITE PLAN RESUBMITTAL
07.25.07	SITE PLAN RESUBMITTAL
06.15.07	SITE PLAN RESUBMITTAL

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Kuhl & Freshnock
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VERTICAL VENTURES III
BUSINESS PARK
435 AND 45 HWY

Williams
Spurgeon
Kuhl &
Freshnock

110 Armour Road · North Kansas City, Missouri 64116 · Tel. 816.300.4101 · Fax 816.300.4102

DETAILS
SP1.02



Woodriver Crossing Vertical Ventures II Vertical Ventures III Development Standards

**Business Park
Commercial
Retail
Hospitality**

Index

- Introduction
- Purpose of this Manual
- Construction Materials
 - Division 2 - Site Construction
 - Division 3 - Concrete and Precast
 - Approved Precast Uses and Colors
 - Division 4 - Masonry
 - Approved Brick Colors
 - Approved Brick Patterning
 - Division 5 - Metals
 - Approved Roof Systems and Colors
 - Division 7 - Thermal and Moisture Protection
 - Approved Exterior Coatings and Colors
 - Division 8 - Doors and Windows
 - Approved Storefront Systems and Colors
 - Guidelines for Exterior Doors
 - Division 10 - Specialties
 - Division 16 - Electrical
 - Approved Exterior Building Mounted Fixtures
 - Approved Lamps
 - Approved Parking Lot Fixtures
 - Approved Parking Lot Lamps
- Additional Information
 - Typical Building Elements
 - Retail/Office Elevations
 - Warehouse/Office Elevations
 - Prototype Hotel Elevations
 - Monument Signs

Introduction

435-45 Development is a commercial, retail, business park, restaurant and hospitality center development that will serve as Parkville's West "front door." As such, this development will strive to maintain the appropriate upscale and unique appearance and cross section of tenants that provide a synergistic group of business, goods and services. We will expect our landowners to maintain their buildings in a manner that demonstrates a great deal of pride in the buildings and service to the community of users who need and depend on the goods and services offered within the walls of the buildings.

Purpose of this manual

As with any development, the level of environmental quality and the realization of our vision can only be actualized through planning and establishment of benchmarks for development and performance. This standards manual will serve as a guideline and design template for all development. The material and color selections were chosen with the desire to provide an easy means of palette formulation for anyone wishing to build here. The guidelines are intended to provide an architectural vocabulary to be used in designing your building.

We take great efforts in selecting materials that are aesthetically pleasing, durable and yet affordable and that ultimately provide for the unique character desired. Herein is a selection of recommended materials, colors and manufacturers along with alternate colors and manufacturers.

Please take time to review this manual prior to beginning design work on your building. We hope that it will provide you with an understanding of our vision as well as effective design effort while providing you with a palette that stimulates your creativeness.

Herein we have provided some design samples of potential building types and development uses anticipated. We provide such so that you might better understand our design objectives as such applies to the variety of building types likely to be developed.

All designs will be subject to review and approval by the Development Design Review Authority (DDRA). Not only is it important to incorporate the palette of materials preselected but proposed designs will need to offer a sense of scale, proportion and balance as such relates to materials, color, massing and human use.

Woodriver Crossing - Vertical Ventures II & III

Design and Construction Materials

Division 3 - Exterior Improvements

Site Furnishings

Goal: To blend natural and artificial site elements such that there is a balance between man-made site fixtures, furnishings and equipment (FF&E) and the natural existing environment.

Objective: Select FF&E elements that use or emulate natural materials.

Objective: Intelligent preservation of natural site features and augment such features with development that compliments the natural environment.

Objective: Strike a balance between development and existing environment within the economic parameters established by such development.

All public trash receptacles shall be: DuMor Receptacle 124 PL with Black metal and Redwood colored slats.

Site ballards shall be: Wausau Tile TF6051 color B1-Gray

All outdoor benches will be: DuMor 57PL with Black Metal and Redwood colored slats.

Plantings may be set in pots on the site inside the Site Amenities Buffer. The pots shall be any combination of the following list: Wausau Tile TF 4045, 4050, 4055, 4060, 4065.

Flag poles proportioned to the proposed development, however, the minimum height shall be 20'. Poles are to be cone tapered and fabricated from seamless extruded tubing. The following are accepted manufactures: Lingo Inc.; Acme Flagpole Division, Michigan Flagpole Inc.

Parking & Drive Paving

Asphalt Paving: Regular Paving (general parking area): 2" APWA Type 3 A/C surface course, 4" APWA Type 1 A/C/ base course with 6" MHTD Type 3 or equivalent compacted sub-grade.

Heavy Duty Paving (drive aisle and service areas): 2" APWA Type 3 A/C surface course, 5.5" APWA Type 1 A/C base course with 8" MHTD Type 3 or equivalent compacted sub-grade.

Concrete Paving:

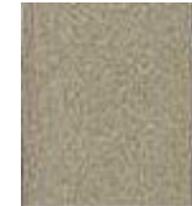
Regular Paving (general parking): 6" thick concrete with 6" MHTD Type 3 or equivalent compacted gravel sub-base.



DuMor 57 PL



DuMor Black



DuMor Redwood



Wausau Tile TF 6051



Wausau Tile B1 Gray



DuMor Receptacle 124 PL



Wausau Tile Planters

Woodriver Crossing - Vertical Ventures II & III

Heavy Duty Paving (drive aisle and service areas): 8" thick concrete with 6" MHTD Type 3 or equivalent compacted gravel sub-base.

Curb and Gutter: 2'-0" in overall width (18" gutter, 6" curb) concrete, with a 6" height curb. Roll back curbs are to be used in locations where drive over curbs are desired. Standard curb and gutter sections are to be used in all other locations. Rollback and standard curb and gutters are not to be used within the same development.

Walks & related paving

Walks: 4" thick concrete with 4" compacted gravel sub-base.

Concrete Pavers: Holland Stone 7 13/16" x 3 7/8" x 3 1/8", color to be Antique Red for the parquet pattern and the soldier band to be the darkest color of the blend consistently. Concrete pavers to be incorporated into street paving at pedestrian crosswalks and similar vehicular/pedestrian zones.

Seat Walls: Brick to match building with a cast stone cap. A maximum height of 24" with a minimum height of 18". Lighting to be incorporated flush on the wall @ 12'-0" on center as a maximum. Needs to be louvered and direct the light to wash the pedestrian path. See Division 16 for fixture types.

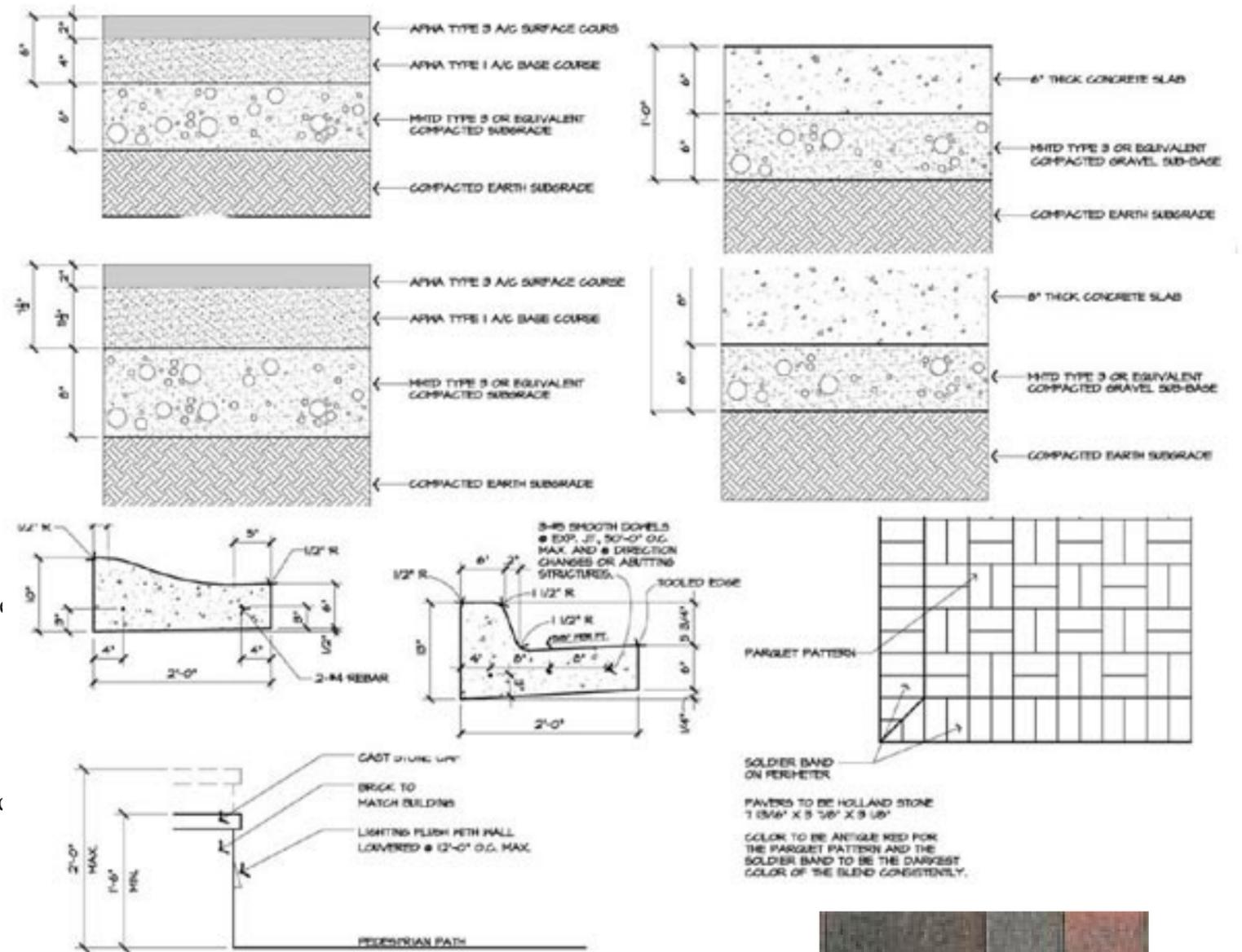
Landscaping

A native plant palette is to be used to minimize the need for irrigation as well as to blend with the existing vegetation and to reduce on-going maintenance costs.

Shade Trees: To be Cimmarron Ash (*Fraxinus pennsylvanica cimmarron*) located @ a maximum of 30'-0" on center and a minimum of 20'-0" on center. Spacing to be coordinated with lighting and high profile tenant displays.

Ornamental Trees: To be White Flowering Redbud (*Cercis Canadensis var. Alba*) or Staghorn Sumac (*Rhus Typhina*) located in a way to maximize their effect. Must include 1 ornamental tree for every 2 shade trees.

Shrubs (deciduous and evergreen): To be used in concert with the seat wall concept to enhance / define the zones of use. This transition area is defined as the Amenity Buffer. (see typ. sidewalk plan). The deciduous shrubs to be Blus Mist Spirea (*Caryopteris Clandonensis*), Bush Cinquefoil (*Potentilla fruticosa*), or Crimson Pygmy Barberry. The



Paving and Asphalt details



Holland stone in parque pattern, Antique red

Woodriver Crossing - Vertical Ventures II & III

Evergreen shrubs to be Broadmoor Juniper (*Juniperus Sabina Broadmoor*)

Grasses and Groundcover: to be used as accent and focal points. The groundcover should be used in lieu of turf wherever possible in this area.

Fencing: All visible exterior fence to be a combination of square masonry columns (brick capped with a cast stone cap) and cast iron fencing, with a maximum distance between columns no more than 18'-0" and a minimum overall height no less than 42".

Division 3 - Cast in Place and Precast Concrete

All site cast panels must be shot blasted to produce a smooth, even texture that does not show form lines, bulges or other indications that the building is constructed of poured panels. If the panels are to be colored, please refer to Section 7 for approved exterior paint products and colors.

Division 4 - Masonry

All brick masonry on buildings must be a standard modular brick size. Face brick may be applied to site cast and precast building panels. Field brick shall be set in a running bond pattern. Window, door, and other punctured openings shall have soldier coursing at the head and row lock at the sill. Any brick patterns or coursings outside these guideline will have to be approved by the DDRA.

Approved field colors of brick are: Boral WC Red

Approved accent band and wainscot colors are: Boral Light Grey

Approved face brick colors for tilt up construction are: Endicott Red Blend and Almond

Approved mortar color for accent brick and cast stone coursings is: Plain

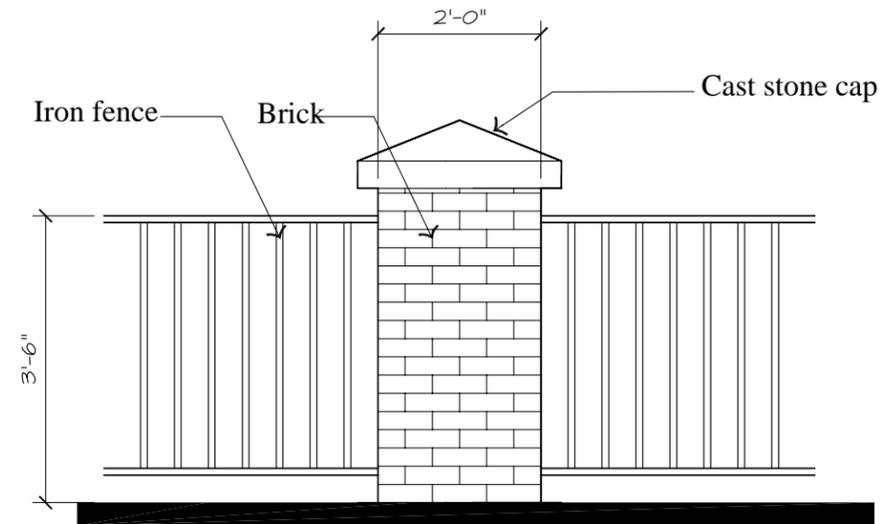
Masonry Cement

Approved mortar color for field brick is: SGS 10H Lt. Buff

Cast stone may be used as an accent for the brick and should consist of less than 10% of the building facade. We recommend using a watertable profile between field brick and wainscotting.

Approved cast stone colors are: Architectural Ornaments - Light Buff and Natural Lime.

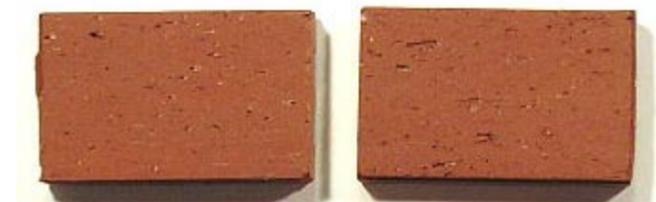
Cultured stone may be used on the base of columns and for other details. The area of Cul-



Boral WC Red



Boral Light Grey



Endicott Red Blend



Endicott Almond



Plain Masonry Cement



SGS 10 H Lt. Buff

Woodriver Crossing - Vertical Ventures II & III

tured stone should not exceed 10% of the buildings facade.

Approved Cultured stone manufacturer is: Cultured Stone Corp.
Approved color and texture: Autumn and pro-fit ledgestone.

Division 5 - Decorative and Exposed Metal

Any external Decorative and exposed metal shall be painted with high performance paint to ensure durability and uniform finish.

All painted coating shall be satin black.

Division 6 - Wood

No wood or wood containing products are allowed for exterior use.

Division 7 - Thermal and Moisture Protection

A combination of roofing types are envisioned for the development, however steep-sloped roofing is desired for all buildings. Building designs not using steep slope roofing should be reviewed for acceptance on a building-by-building basis. A standing seam metal roof will be required over any pitched areas of roof visible to customers.

Approved metal roofing for slope exceeding 3:12 is: AEP Span - Snap-Seam
Approved metal roofing for slope less than 3:12 is: AEP Span - High-Seam
Approved metal roofing color is: Hemlock Green

Any exposed concrete must be covered with a textured paint that conceals any form lines, bulges, or other defects

Approved coatings are: Thorocoat Bone 420 and Thorocoat Putty Tan 433

Flashings, copings and downspouts shall be of prefinished metal to match the field color of the material they cover or the roof color. Downspouts that drain flat roofs shall be located on the back side of the buildings and shall consist of conductor head (w/ overflow) and downspout. All downspouts shall be SMACNA type 1-32B.



AEP Hemlock Green



Thorocoat Bone 420



Thorocoat Putty Tan 433

Woodriver Crossing - Vertical Ventures II & III

Awnings for buildings shall be either prefinished aluminum or high performance painted steel structured with standing seam skin. No closed soffit or backlit awnings will be allowed.

Division 8 - Doors and Windows

Entry doors may be medium stile, full glass, aluminum. Other door stiles and types may be appropriate and necessary. Review and approval of other door stiles and types on a building-by-building basis.

Retail type buildings should have at least 30% of the main elevation glazed. Buildings that have 2 exposed sides must carry glazing around to the side elevation. The side elevation should have at least 20% of the area glazed. Other buildings types shall have at least 15% of the main elevation glazed.

Approved storefront systems are: Kawneer Trifab VG450 Front Plane
Approved colors are: Kawneer Dark Bronze Anodized.
Approved glass color is: Solarscreen VE1-85

Division 10 - Specialties

Signage shall consist of not more than 10 sqft of signage per 500 sqft of facade and shall not exceed 20 sqft for any single tenant. Signs shall be backlit channel letters pin mounted on the facade. Lettering and printing on awnings is prohibited.

Division 15 - Mechanical

The top of all mechanical equipment shall be 6" below the top of any parapet or a screen wall shall be constructed such that the screen will extend 6" above the top of the mechanical equipment. This screen wall shall be covered in Thorocoat (see division 7 for details.)

Division 16 - Electrical

Approved exterior fixtures are: King Luminaire - K366-P-S-LAC-III-250MH-MOG-MH-VOLT-BZ mounted on KA51-MOD

Approved exterior lamps are: Metal Halide with a color temp. of 3700K-7000K

Approved Parking Lot Fixtures are: King Luminaire - K366-P-S-LAC-V-250MH-MOG-MH-VOLT-BZ mounted on KA51-MOD

Approved Poles are: StressCrete - KK18-EXX-DB-S/F King Arm and KK25-EXX-DB-S/F King Arm

Approved Parking Lot Lamps are: Metal Halide with a color temp. of 3700K-7000K



Kawneer Dark Bronze Anodized



King Luminaire K366 Harbor Side Series

Woodriver Crossing - Vertical Ventures II & III

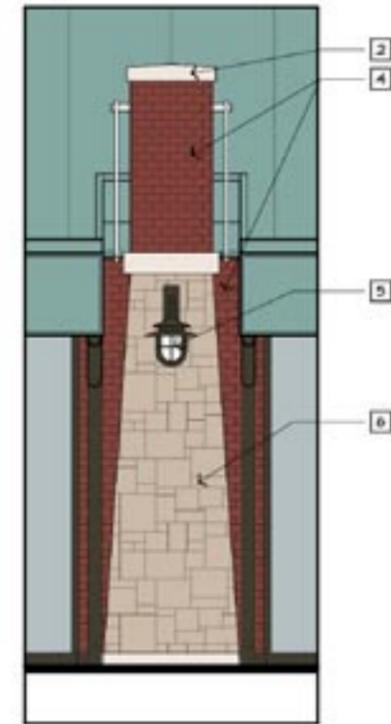
Additional Information

Elevation Examples:

The partial elevations presented on this page and the following pages are provided as examples of the developers vision of exterior facade design, proportion and materials use. Obviously these examples do not illustrate all possible design alternatives envisioned but merely serve as a template for design. Proposed designs will be reviewed on a building-by-building basis.



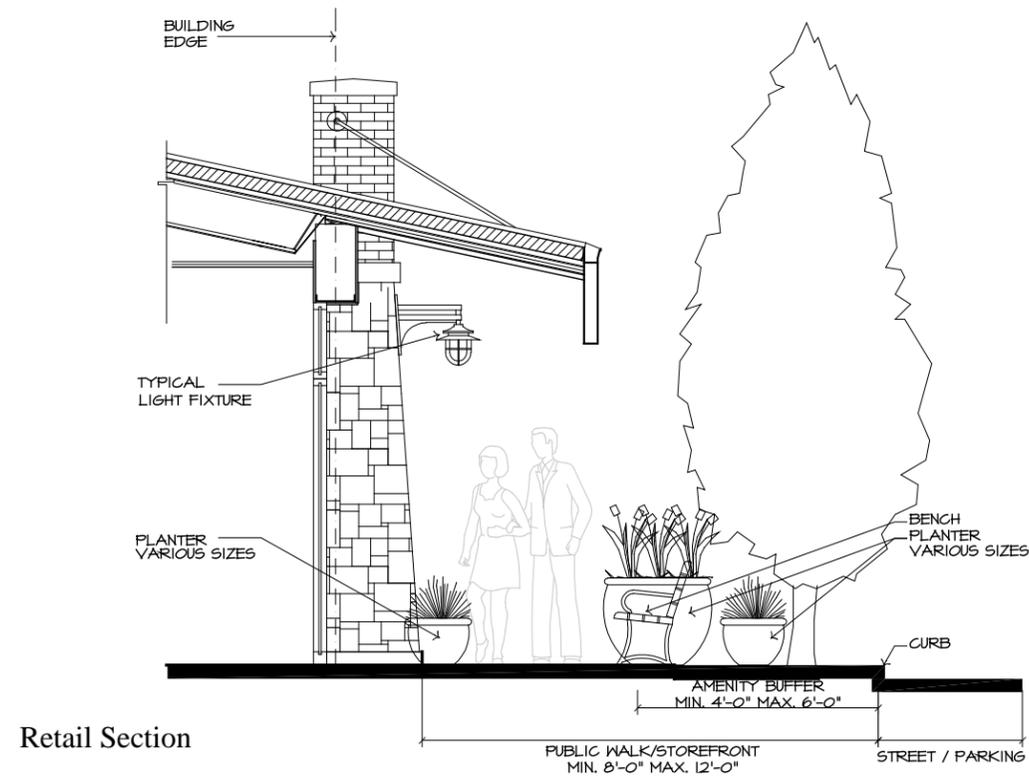
Retail Elevation



Column Detail

Typical Building Elements

1. Roofing Materials Section 7
2. Cast Stone Materials Section 4
3. Storefront System Section 8
4. Brick Colors Section 4
5. Exterior Light Fixtures Section 16
6. Faux Stone Section 4
7. Precast Concrete Section 3
8. Signage Section 10

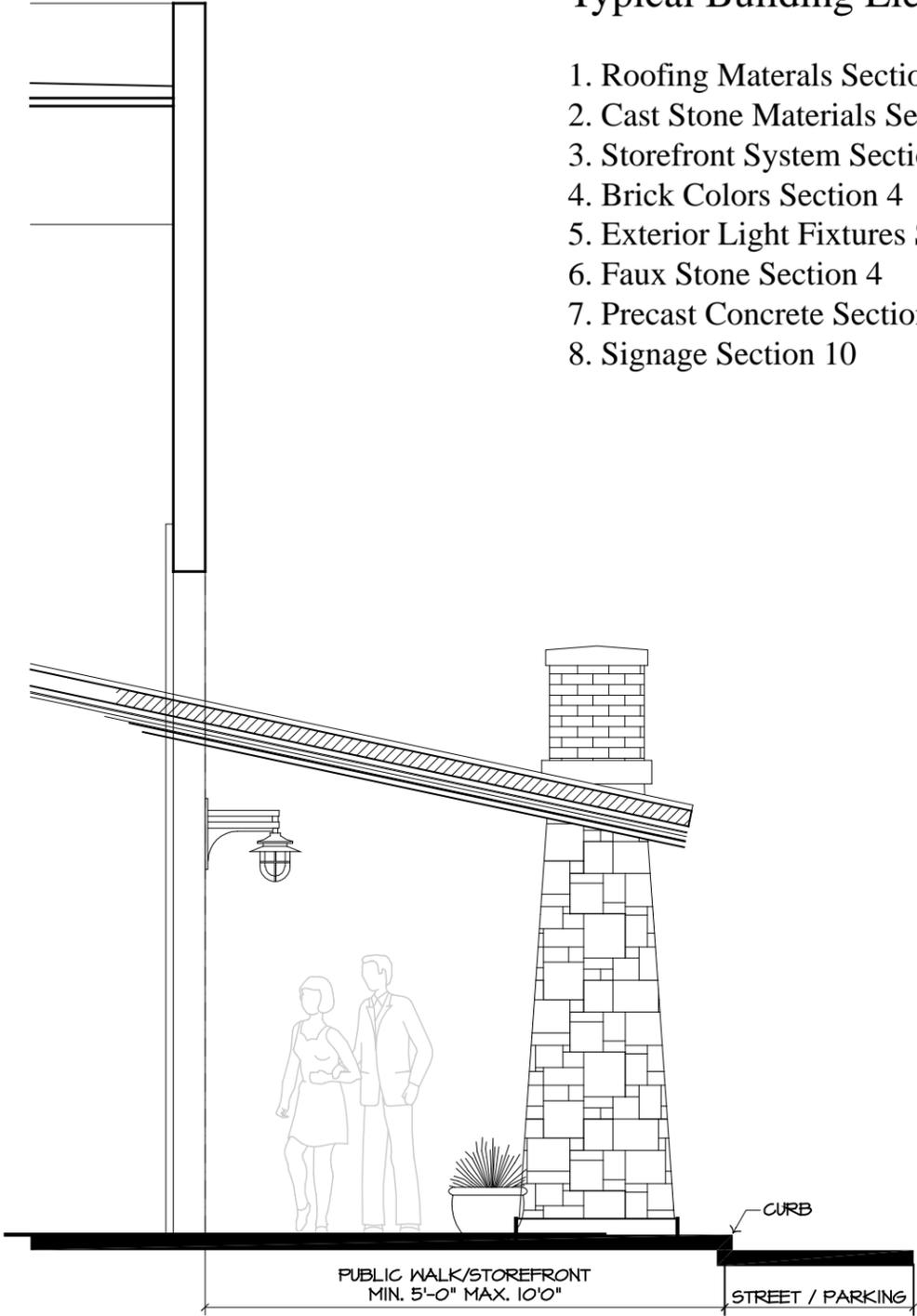


Retail Section

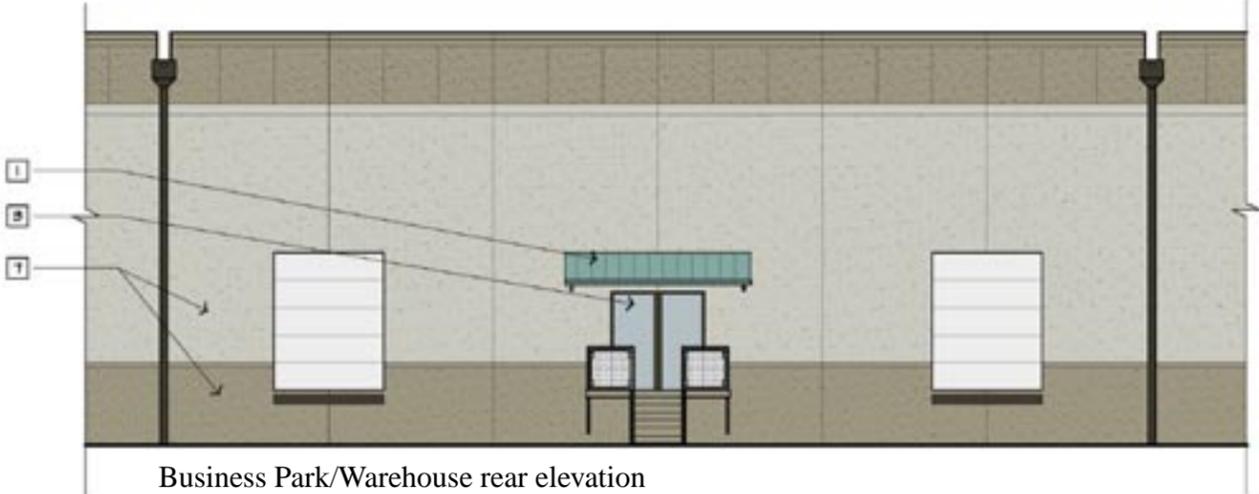
Woodriver Crossing - Vertical Ventures II & III

Typical Building Elements

- 1. Roofing Materials Section 7
- 2. Cast Stone Materials Section 4
- 3. Storefront System Section 8
- 4. Brick Colors Section 4
- 5. Exterior Light Fixtures Section 16
- 6. Faux Stone Section 4
- 7. Precast Concrete Section 3
- 8. Signage Section 10



Business Park Section



Business Park/Warehouse rear elevation



Business Park/Warehouse/Business Office front elevation

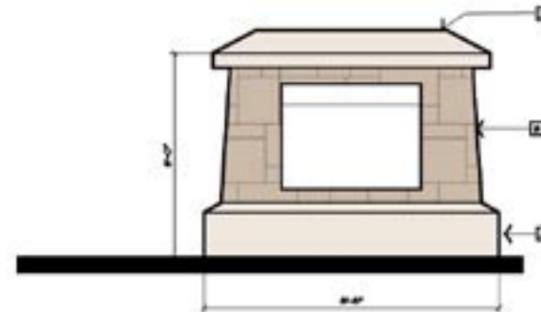
Woodriver Crossing - Vertical Ventures II & III

Typical Building Elements

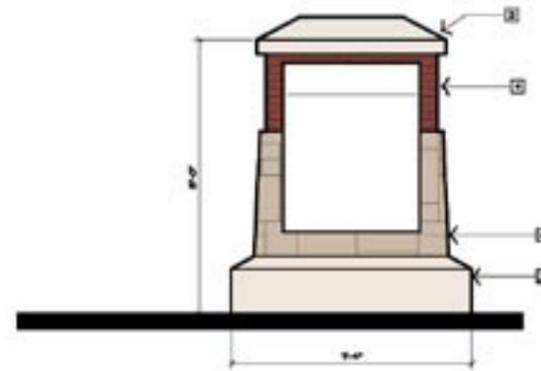
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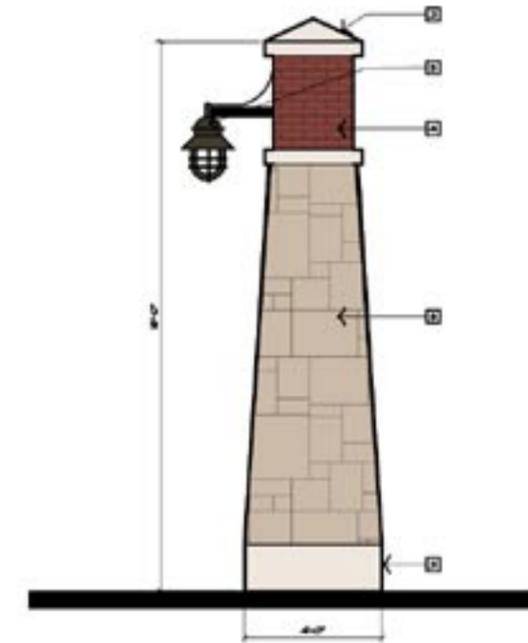
Prototype Hotel Elevation



Monument Sign Option 1



Monument Sign Option 2



Entry Monument