

CAPITAL ELECTRIC

A DEVELOPMENT IN PLATTE COUNTY, MISSOURI

AMENDED PRELIMINARY DEVELOPMENT PLAN, PRELIMINARY PLAT & FINAL DEVELOPMENT PLAN

TOTAL AREA = 49.89 ACRES

UTILITY CONTACTS

City of Parkville	(816) 741-7676
CPWSD #1 of Platte County	(816) 891-3457
Platte County Regional Sewer District	(816) 858-2052
Splite Gas Energy	(816) 756-5252
Evergy	(816) 471-5275
Platte Clay Electric	(816) 807-7502
Century Link	(816) 243-5642
Unite Private Networks	(816) 503-9400
Spectrum	(816) 431-5818
Missouri One Call	(800) DIG-RITE
AT&T	(800) 464-7928
Comcast	(913) 891-3457

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DEVELOPER

Capital Electric Line Builders, Inc.
C/O: Greg Darkenwaki
4400 NW Mattox Road
Riverside, MO 64150

ENGINEER/SURVEYOR:

Renaissance Infrastructure Consulting, LLC
5015 NW Canal Street, Suite 100
Riverside, MO 64150
(816) 800-0950

LEGEND

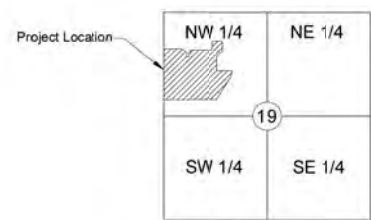
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	Existing Right-of-Way Line		Proposed Property Line
	Existing Lot Line		Proposed Lot Line
	Existing Easement Line		Proposed Easement
	Existing Curb & Gutter		Proposed Curb & Gutter
	Existing Sidewalk		Proposed Sidewalk
	Existing Storm Sewer		Proposed Storm Sewer
	Existing Storm Structure		Proposed Storm Structure
	Existing Waterline		Proposed Fire Hydrant
	Existing Gas Main		Proposed Waterline
	Existing Sanitary Sewer		Proposed Sanitary Sewer
	Existing Sanitary Manhole		Proposed Sanitary Manhole
	Existing Contour Major		Proposed Contour Major
	Existing Contour Minor		Proposed Contour Minor
			Future Curb & Gutter



VICINITY MAP
(Scale: 1"=1500')

DEVELOPMENT DATA

a.	Existing Zoning	I-2-P
b.	Total Land Area	49.89 Ac. (2,173,185 SF)
c.	Proposed Use	Industrial/Contractor's Facility
d.	Height Above Grade	37'-00"
e.	Gross Floor Area	72,800 SF
f.	n/a	
g.	Building Coverage Ratio	0.04
h.	Required Parking	Parking Provided: 105 Stalls
A.	Commencement Date: Fall 2020	Completion Date: Winter 2021



SECTION MAP
SEC. 19 TW. 51 RNG. 34

SITE DATA:

Gross Area:	49.89 Acres
Right of Way Area:	0.00 Acres
Open Area:	4.97 Acres
Number of Lots:	1 Lot

October 2020



Development Plan
20-0173
Capital Electric

Cover Sheet

AS PER CITY COMMENTS
GENERAL SUBMITTAL
REVISION

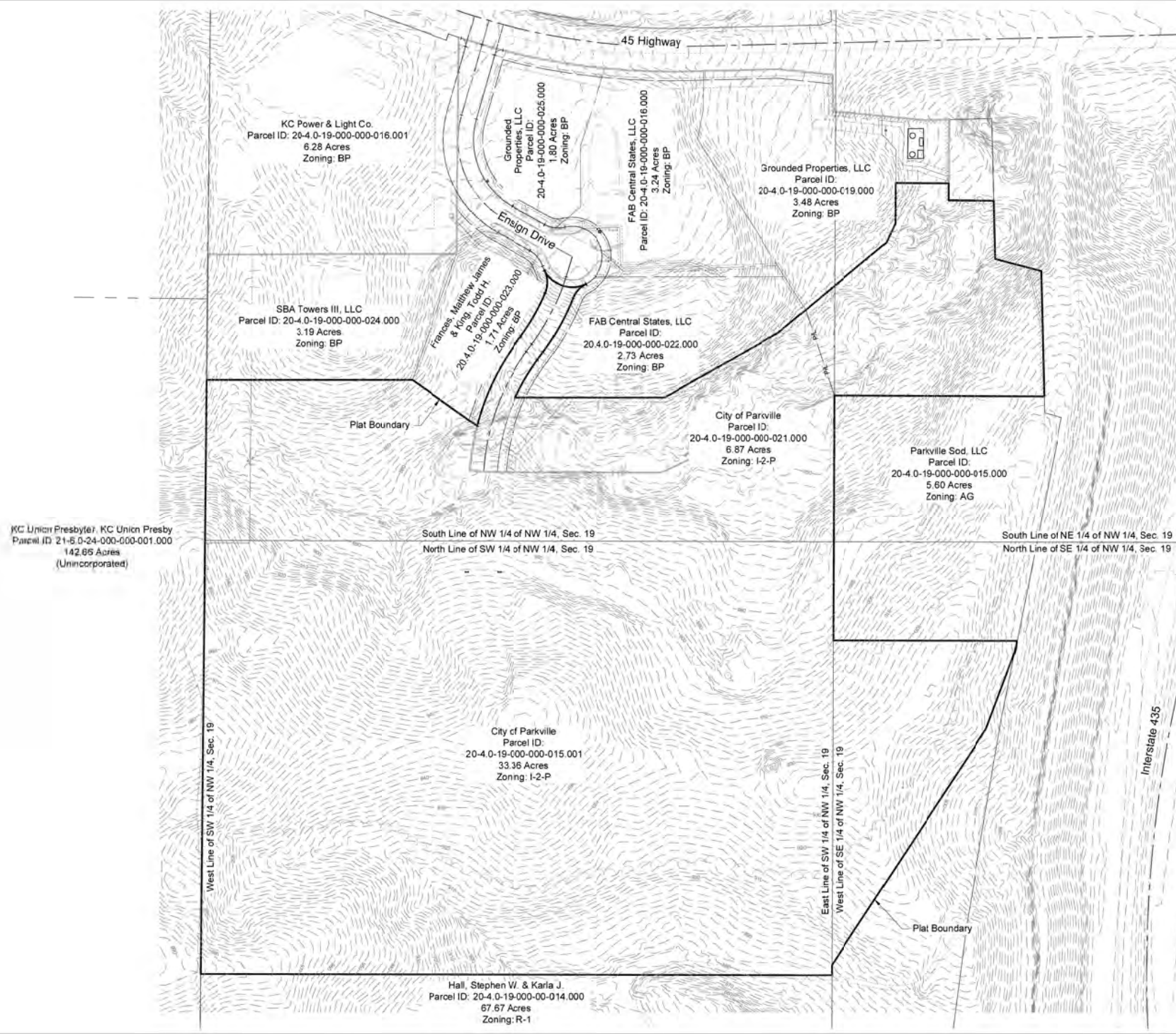
1. DATE: 10/15/2020
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4. DATE: 10/15/2020

Renaissance Infrastructure Consulting
5015 NW Canal Street, Suite 100
Riverside, Missouri 64150
www.riconsulting.com

STATE OF MISSOURI
BRETT A. BETHA
PLATTE COUNTY
PROFESSIONAL ENGINEER
1002220

NO.	DATE	BY	DESCRIPTION
1	10/20/20	AS PER CITY COMMENTS	GENERAL SUBMITTAL
			REVISION

Renaissance Infrastructure Consulting
BIOLOGICAL SERVICES
5105 NW CANAL STREET, SUITE 100
PORTLAND, OREGON 97209
www.rii.com



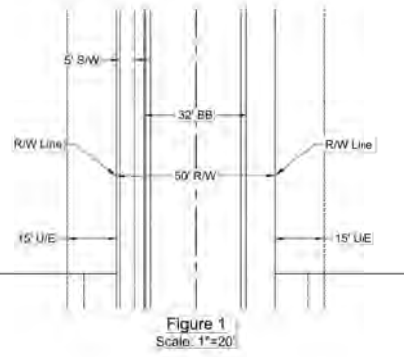
2025 RELEASE UNDER E.O. 14176

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Renaissance Infrastructure Consulting
 1100 W. 15th Street, Suite 100
 Oklahoma City, Oklahoma 73102
 www.ri-consulting.com



STATE OF MISSOURI
 BRETT A. [Name]
 LICENSE NO. 1002220
 PROFESSIONAL ENGINEER



LOT AREAS		
Lot Number	Lot Area (SF)	Lot Area (Ac)
1	24737	0.57
2	25000	0.57
3	25000	0.57
4	25000	0.57
5	32357	0.74
6	62426	1.43
7	89791	2.06
8	45544	1.05
9	70544	1.62
10	47567	1.09
11	35572	0.82
12	35538	0.82
13	35504	0.82
14	35471	0.81
15	35437	0.81
16	38056	0.87
17	54478	1.25
18	38458	0.88
19	30312	0.70
20	45695	1.05
21	53542	1.23
22	33377	0.77
23	26673	0.61
24	30806	0.71
25	31124	0.71
26	33082	0.76
27	33609	0.77
28	33609	0.77
29	33083	0.76



NOTE:
 Required parking spaces will be provided
 & received by staff at time of final plan.



1	DATE	BY	CHK	APP

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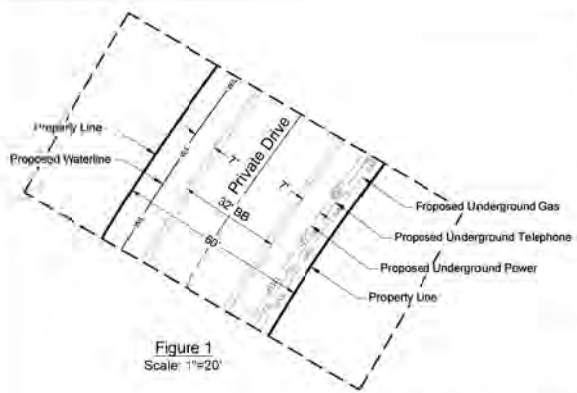
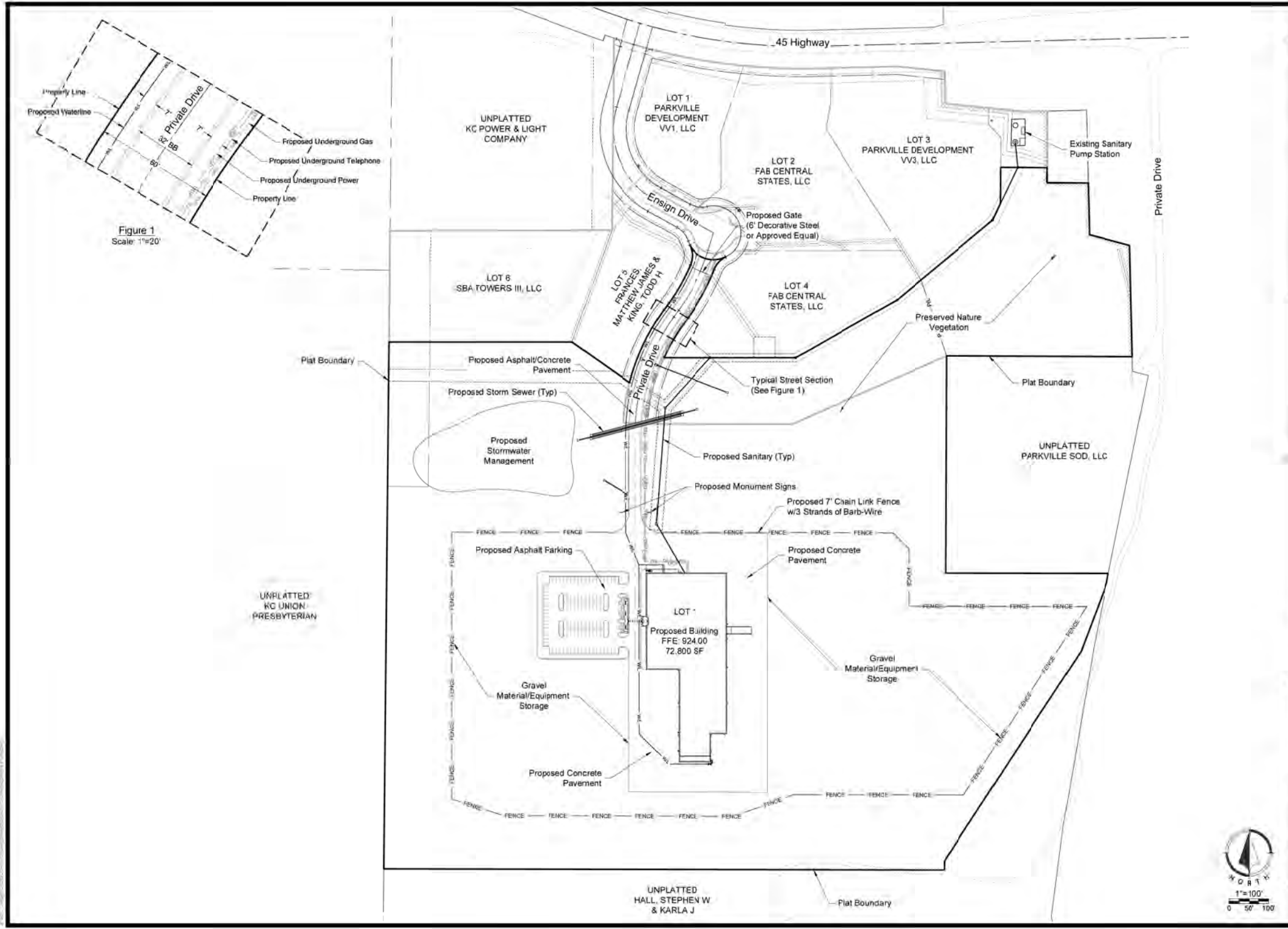


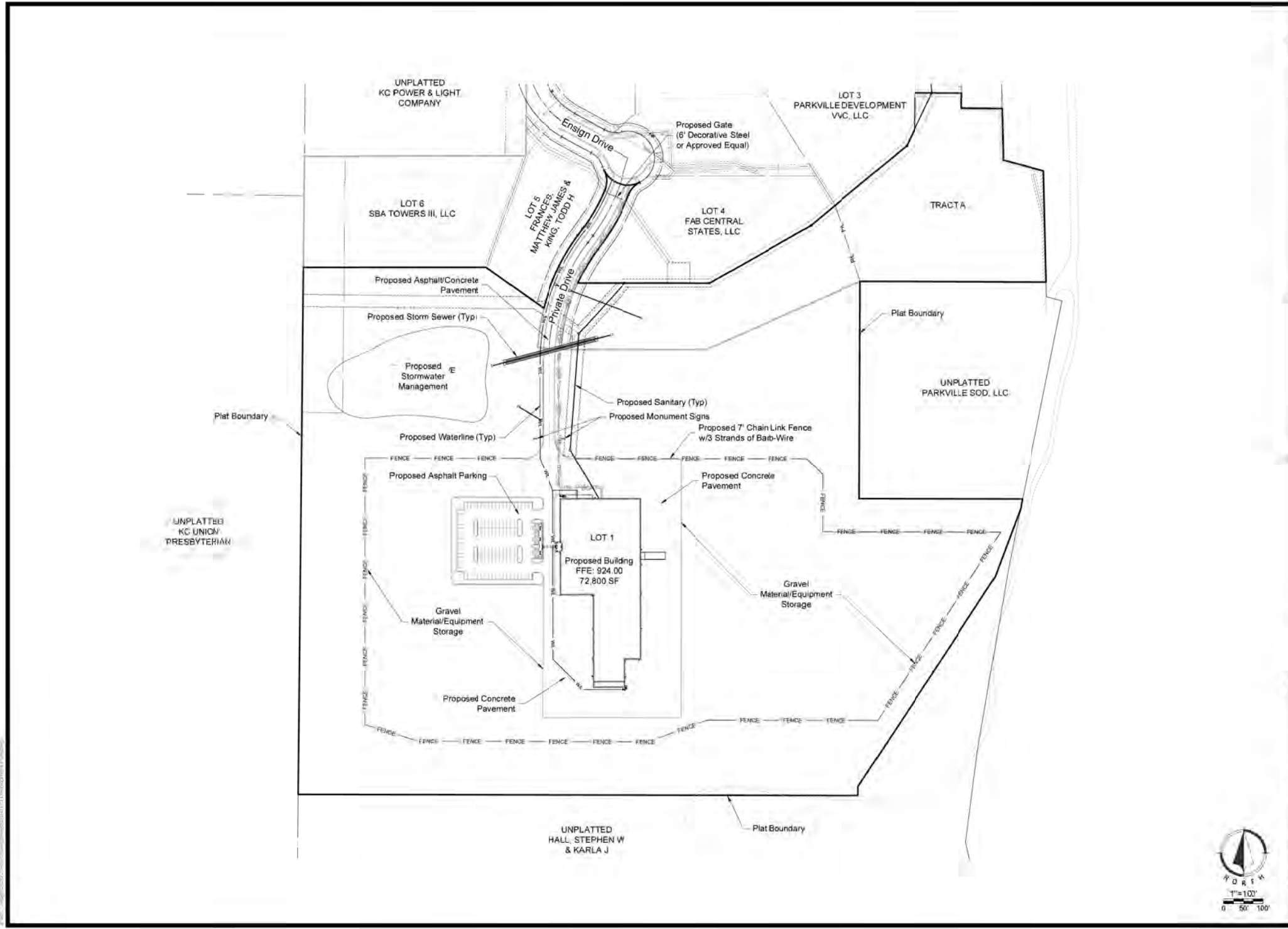
Figure 1
Scale: 1"=20'



NO.	DATE	DESCRIPTION
1		ISSUED FOR COMMENTS
2		GENERAL SUBMITTAL
3		REVISION

Renaissance Infrastructure Consulting
3015 NW Canal Street, Suite 100
Overland Park, Kansas 66207
www.ri-ks.com | 913.241.1100

STATE OF MISSOURI
BRETT A. [Signature]
PROFESSIONAL ENGINEER
1002220

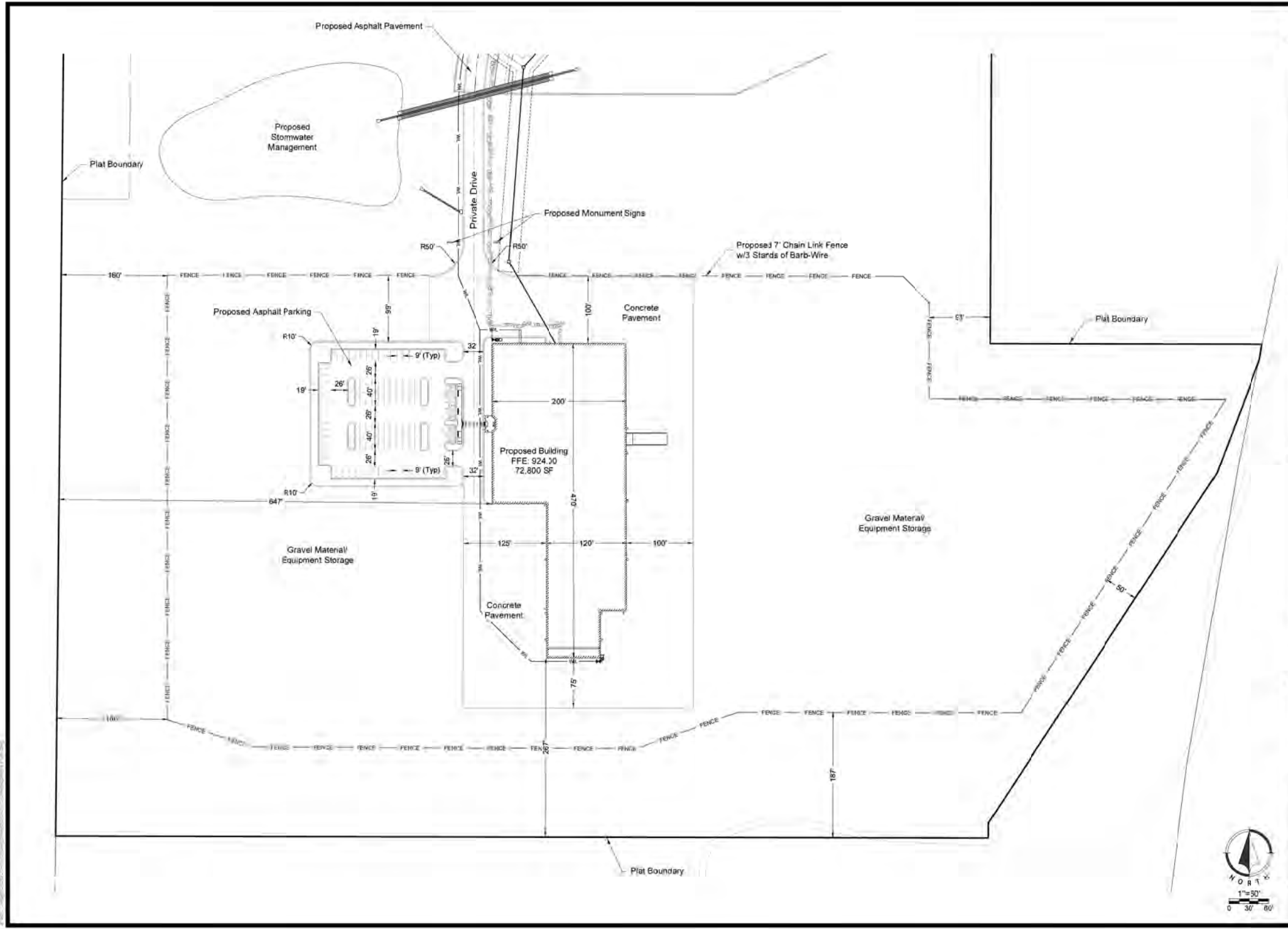


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DATE	DESCRIPTION

Renaissance Infrastructure Consulting
 3305 NW Canal Street, Suite 100
 Portland, Oregon 97209
 P: 503.255.2929
 www.ri-consult.com

STATE OF MISSOURI
 BETTIE A. [Signature]
 JAMES
 PROFESSIONAL ENGINEER
 1002220



NO.	DATE	BY	DESCRIPTION
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Legal Description

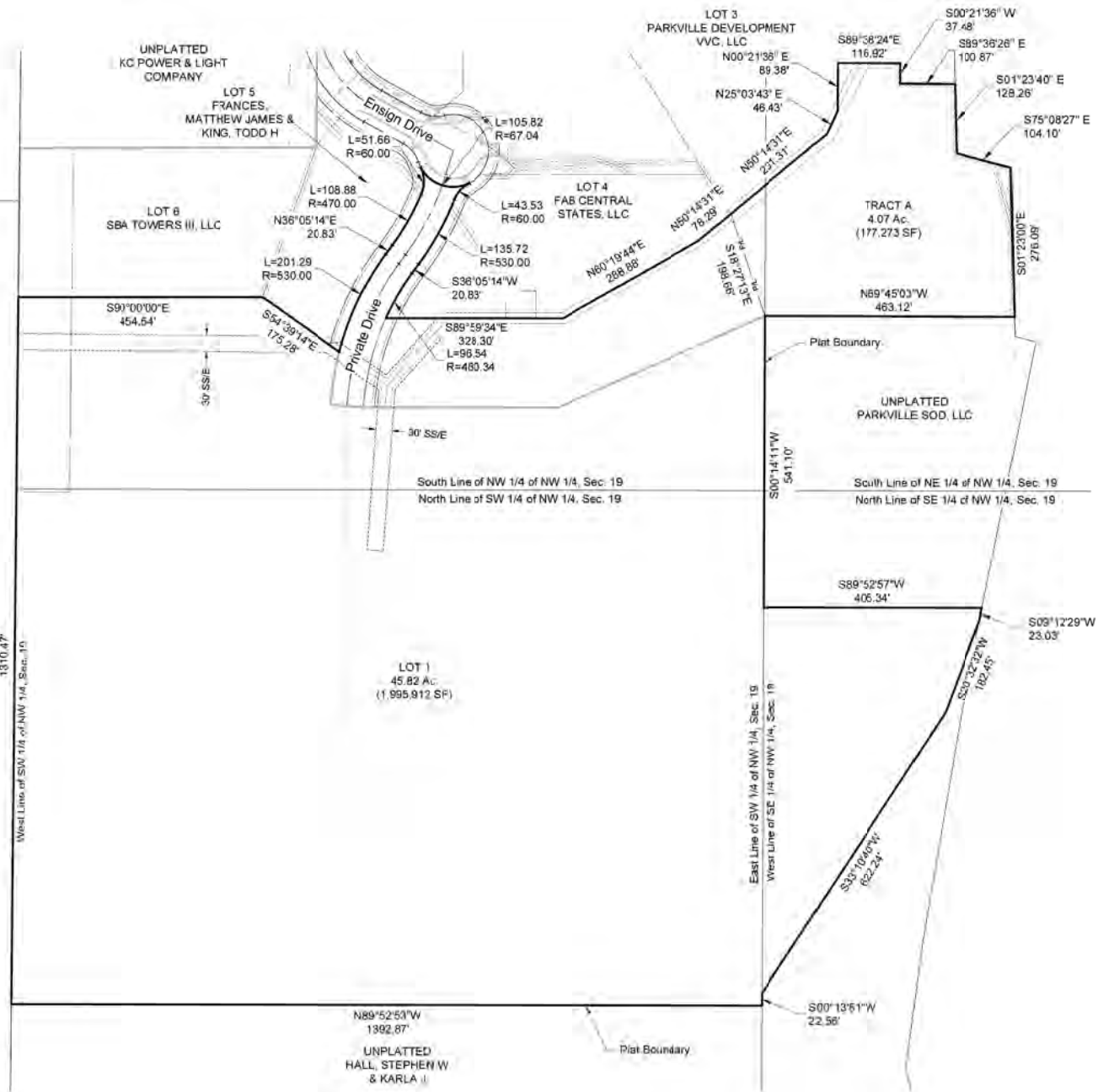
Part of Tract A, and Tract D, VERTICAL VENTURES III FIRST PLAT, and part of the Northwest Quarter of Section 19, Township 51 North, Range 34 West, all in Parkville, Platte County, Missouri being described as follows:

Commencing at the Southwest corner of said Northwest Quarter; thence N00°34'00"E, along the West line of said Northwest Quarter, a distance of 345.75 feet to the POINT OF BEGINNING of the tract of land to be herein described; thence N00°34'00"E, continuing along said West line, a distance of 1310.47 feet to the Southwest corner of Lot 6, in said VERTICAL VENTURES III FIRST PLAT; thence N50°00'00"E, along the South line of said Lot 6, a distance of 454.54 feet to the Southeast corner of said Lot 6, said point also being the Southwest corner of Lot 5, in said VERTICAL VENTURES III FIRST PLAT; thence S54°39'14"E, along the south line of said Lot 5, a distance of 175.28 feet to a point on the Westerly line of said Tract D, in said VERTICAL VENTURES III FIRST PLAT; thence Northeasterly, along said Westerly line of said Tract D, along a non-tangent curve to the right having an initial tangent bearing of N4°19'35"E, a radius of 530.00 feet, a central angle of 21°45'39", an arc distance of 201.29 feet; thence N35°05'14"E, continuing along said Westerly line, a distance of 20.83 feet; thence Northerly, continuing along said Westerly line, along a curve to the left having a radius of 470.00 feet, a central angle of 13°16'23", an arc distance of 108.88 feet to a point of compound curvature; thence Northerly, continuing along said Westerly line, along a curve to the left, having a radius of 60.00 feet, a central angle of 49°19'38", an arc distance of 51.66 feet; thence Southeasterly, departing said Westerly line, along a non-tangent curve to the left, having an initial tangent bearing of S26°30'46"E, a radius of 67.00 feet, a central angle of 90°30'31", an arc distance of 105.84 feet, to a point on the Easterly line of said Tract D; thence Southwesterly along said Easterly line, along a non-tangent curve to the left, having an initial tangent bearing of S62°58'43"W, a radius of 60.00 feet, a central angle of 41°33'50", an arc distance of 43.53 feet, to a point of reverse curvature; thence Southwesterly, continuing along said Easterly line, along a curve to the right, having a radius of 530.00 feet, a central angle of 14°40'21", an arc distance of 135.72 feet; thence Southwesterly, continuing along said Easterly line, along a curve to the left, having a radius of 470.00 feet, a central angle of 11°46'12", an arc distance of 96.55 feet, to the Northwest corner of said Tract A; thence S89°59'34"E, thence departing said Easterly line, along the Northerly line of said Tract A, a distance of 328.30 feet; thence N60°19'44"E, continuing along said Northerly line, a distance of 288.88 feet; thence N50°14'31"E, continuing along said Northerly line, a distance of 78.29 feet; thence S18°27'13"E, departing said Northerly line, a distance of 198.66 feet to a point on the South line of said VERTICAL VENTURES III FIRST PLAT, said point also bears S89°45'03"E, a distance of 463.12 feet to the Southeast corner of said plat; thence S00°14'11"W, a distance of 541.10 feet; thence S89°52'57"E, a distance of 405.34 feet; thence S09°12'29"W, a distance of 23.03 feet; thence S20°32'32"W, a distance of 182.45 feet; thence S33°10'40"W, a distance of 622.24 feet; thence S00°13'51"W, a distance of 22.56 feet; thence N89°52'53"W, a distance of 1392.87 feet to the Point of Beginning. Containing 1,955,912 square feet or 45.820 acres, more or less.

AND ALSO

Part of Tract A, VERTICAL VENTURES III FIRST PLAT, a subdivision in Parkville, Platte County, Missouri being described as follows:

BEGINNING at the Southeast corner of said Tract A, said point also being on the Westerly right-of-way line of Interstate Highway 435; thence along the South line of said Tract A, N89°45'03"W, a distance of 463.12 feet; thence departing said South line, N18°27'13"E, a distance of 198.66 feet to a point on the Northerly line of said Tract A, said point also being the Southwesterly corner of Lot 3, VERTICAL VENTURES III FIRST PLAT; thence N50°14'31"E, along the Northwesterly line of said Tract A, a distance of 231.31 feet; thence N25°03'43"E, continuing along said Northwesterly line, a distance of 46.43 feet; thence N00°21'36"E, along the Westerly line of said Tract A, a distance of 89.38 feet to the Southwest corner of Tract C, VERTICAL VENTURES III FIRST PLAT; thence S89°38'24"E, along the North line of said Tract A, a distance of 116.82 feet; thence S00°21'36"W, along the Easterly line of said Tract A, a distance of 37.48 feet; thence S89°36'26"E, along the Northerly line of said Tract A, a distance of 100.87 feet to a point on said Westerly right-of-way line of Interstate Highway 435; thence S01°23'40"E, along said Westerly right-of-way line, a distance of 128.26 feet; thence S75°08'27"E, continuing along said Westerly right-of-way line, a distance of 104.10 feet; thence S01°23'00"E, continuing along said Westerly right-of-way line, a distance of 276.09 feet to the Point of Beginning, containing 177,273 square feet, or 4.070 acres, more or less.



UNPLATTED
KC UNION
PRESBYTERIAN

N00°34'00"E
1310.47'

West Line of SW 1/4 of NW 1/4, Sec. 19

30' SSE

S91°00'00"E
454.54'

S54°39'14"E
175.28'

30' SSE

S91°00'00"E
454.54'

S36°05'14"E
20.83'

L=108.88
R=470.00

L=51.66
R=60.00

L=105.82
R=67.04

L=43.53
R=60.00

L=135.72
R=530.00

S36°05'14"W
20.83'

S89°59'34"E
328.30'

L=96.54
R=480.34

N60°19'44"E
288.88'

N50°14'31"E
78.29'

S18°27'13"E
198.66'

S00°14'11"W
541.10'

S89°52'57"W
405.34'

S09°12'29"W
23.03'

S33°10'40"W
622.24'

S00°13'51"W
22.56'

N89°52'53"W
1392.87'

Plat Boundary

Plat Boundary

Plat Boundary

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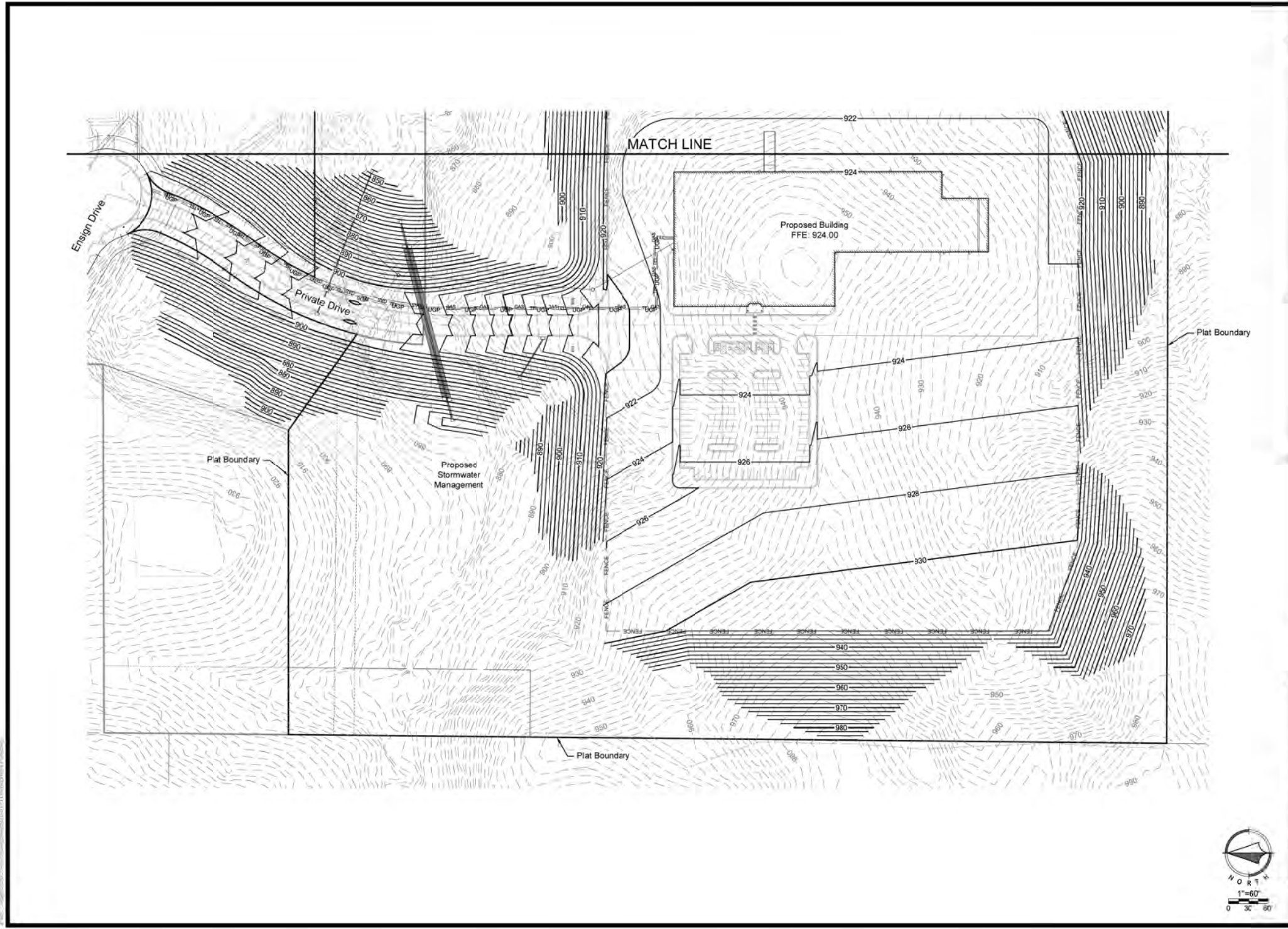
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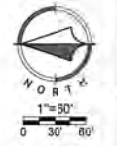
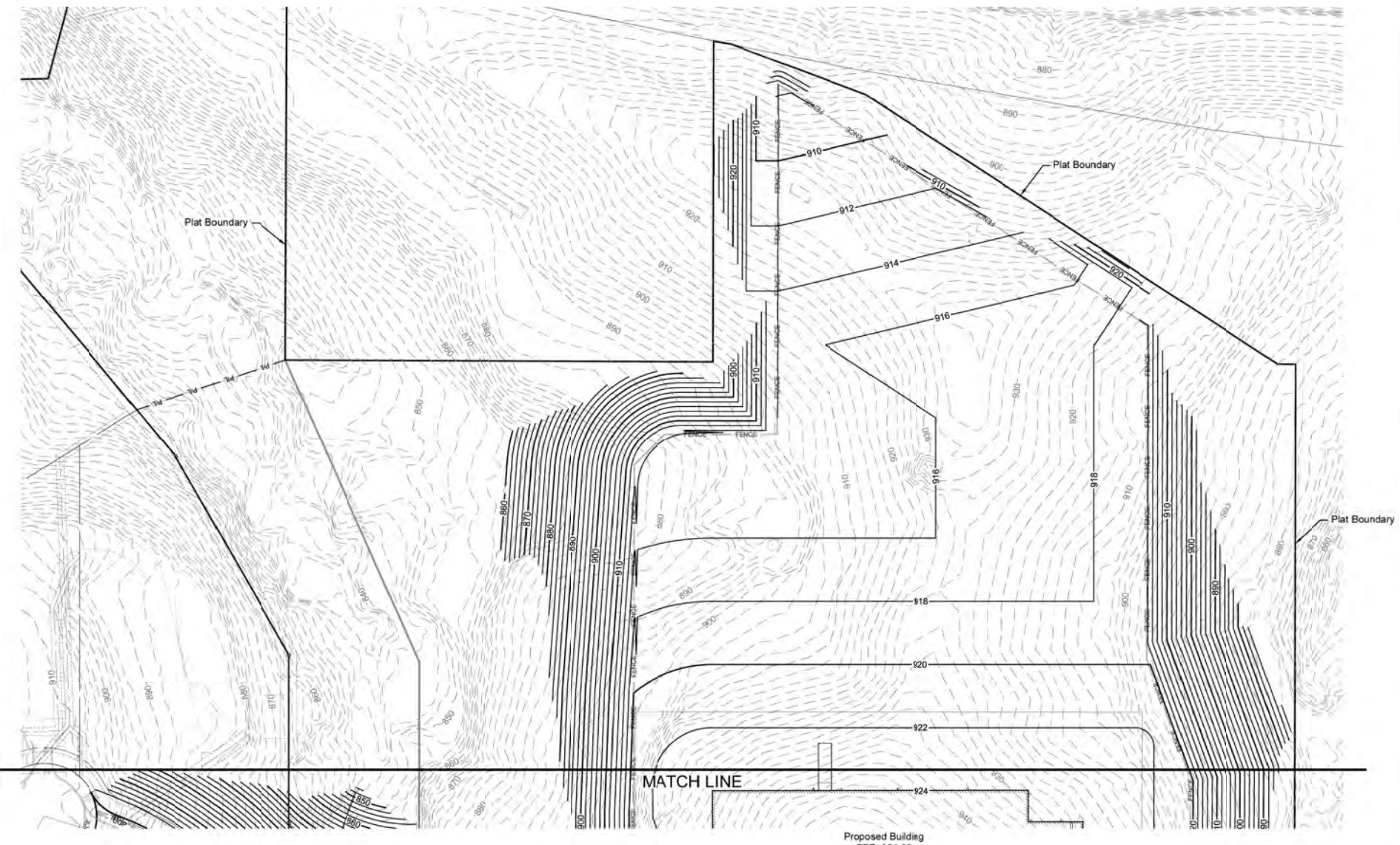
Sheet
C08

Development Plan
20-0173
Capital Electric

Grading Plan
West

DATE	BY	DESCRIPTION
11/15/24	J. BRETHERTON	FINAL SUBMITTAL
11/15/24	J. BRETHERTON	REVISION

Renaissance Infrastructure Consulting
 1205 17th Avenue SW, Suite 100
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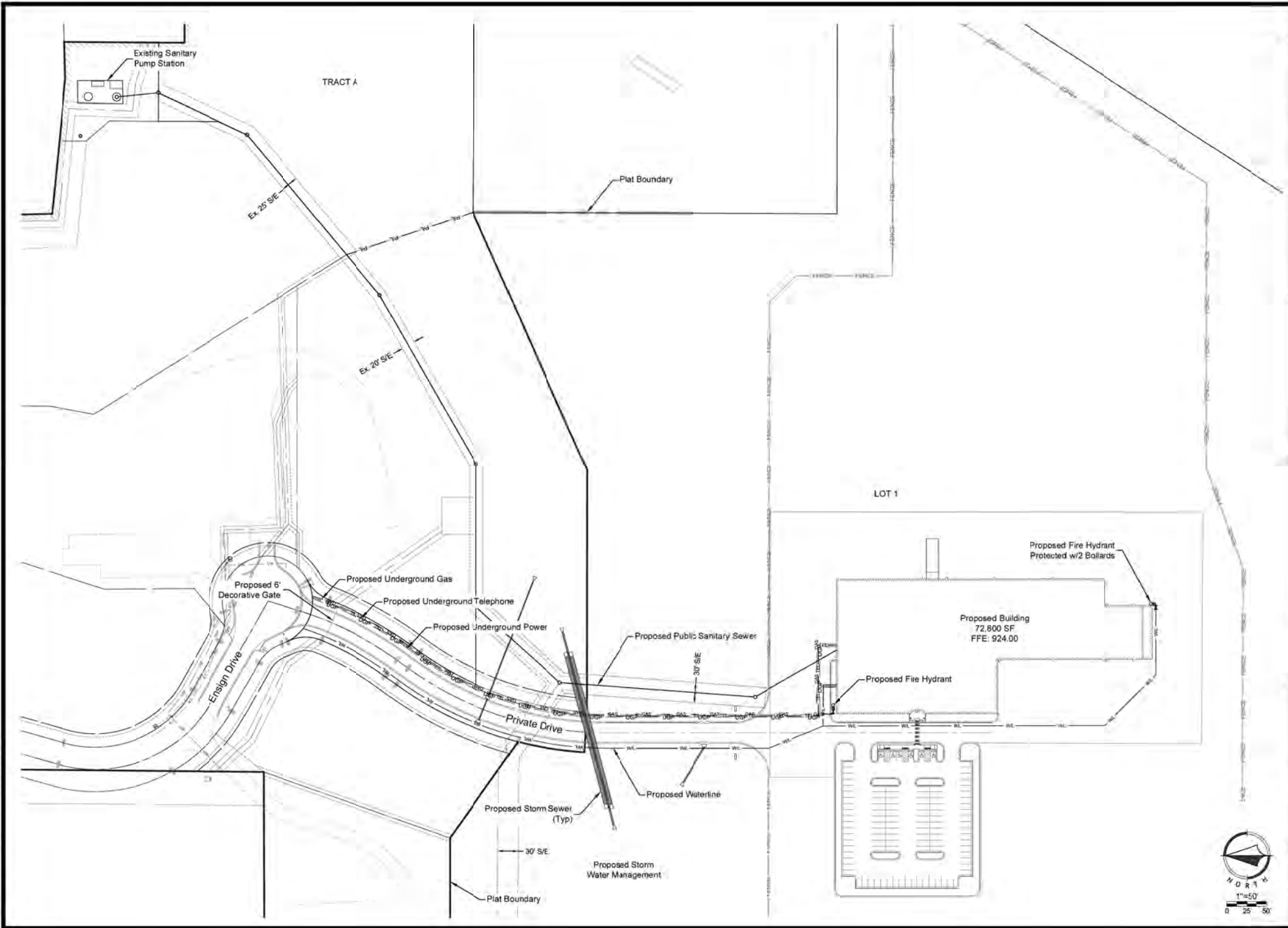
Renaissance
Infrastructure
Consulting

3105 HWY CANAL STREET, SUITE 100
HOUSTON, TEXAS 77050
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NO.	REVISION	DATE	BY	CHK.

AS PER CITY COMMENTS
GENERAL SUBMITTAL
REVISION



Sheet
C10

Development Plan
20-0173
Capital Electric

Site Utility Plan

NO.	DATE	DESCRIPTION
1	10/15/2020	ISSUED FOR PERMITS
2	11/10/2020	REVISED PER COMMENTS
3	12/15/2020	REVISED PER COMMENTS
4	01/15/2021	REVISED PER COMMENTS
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100	01/15/2029	REVISED PER COMMENTS

Renaissance
Infrastructure
Consulting

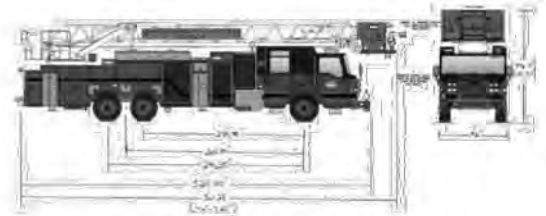
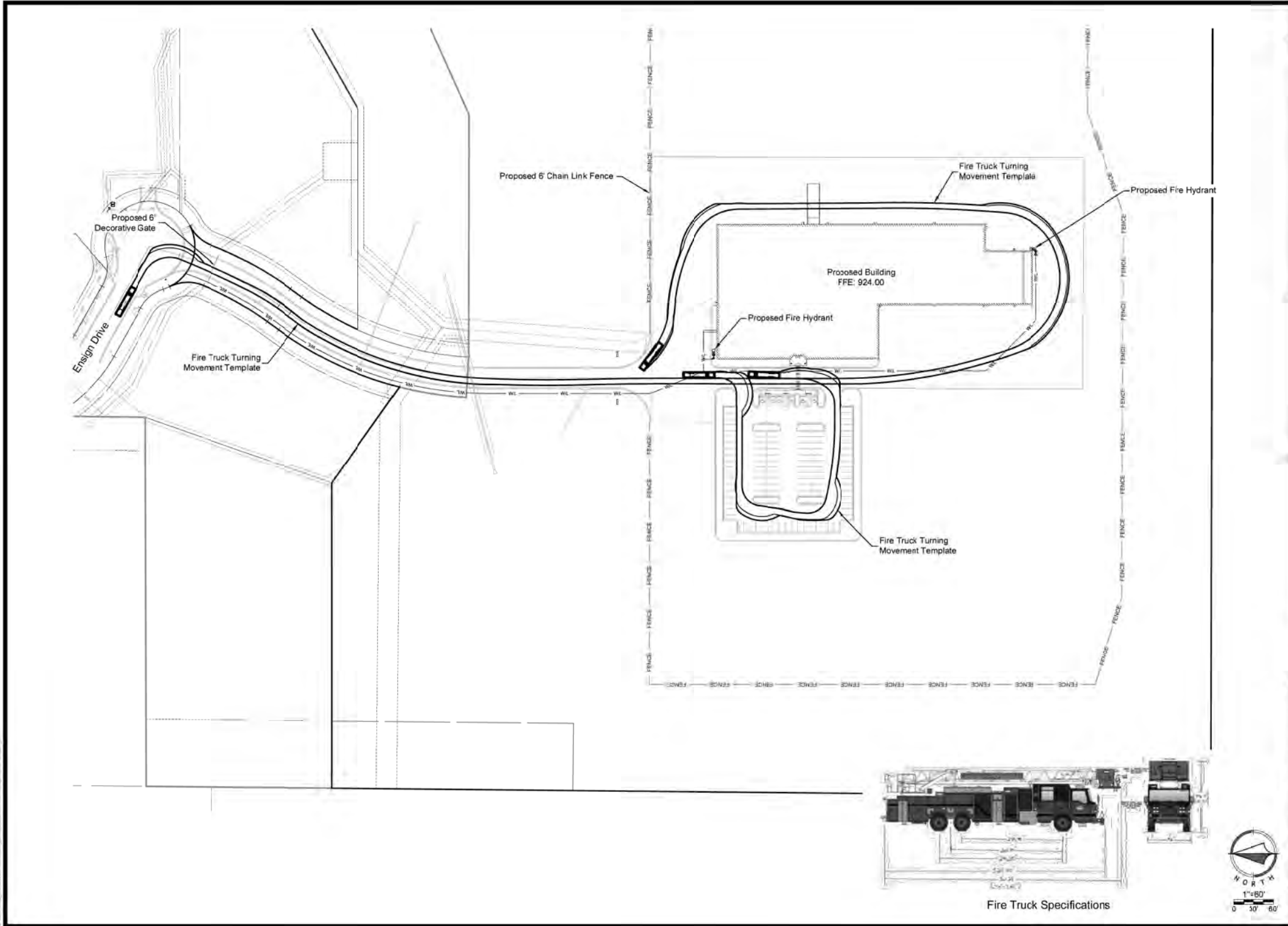


3105 NW Canal Street, Suite 100
Portland, Oregon 97209
www.ri-consulting.com

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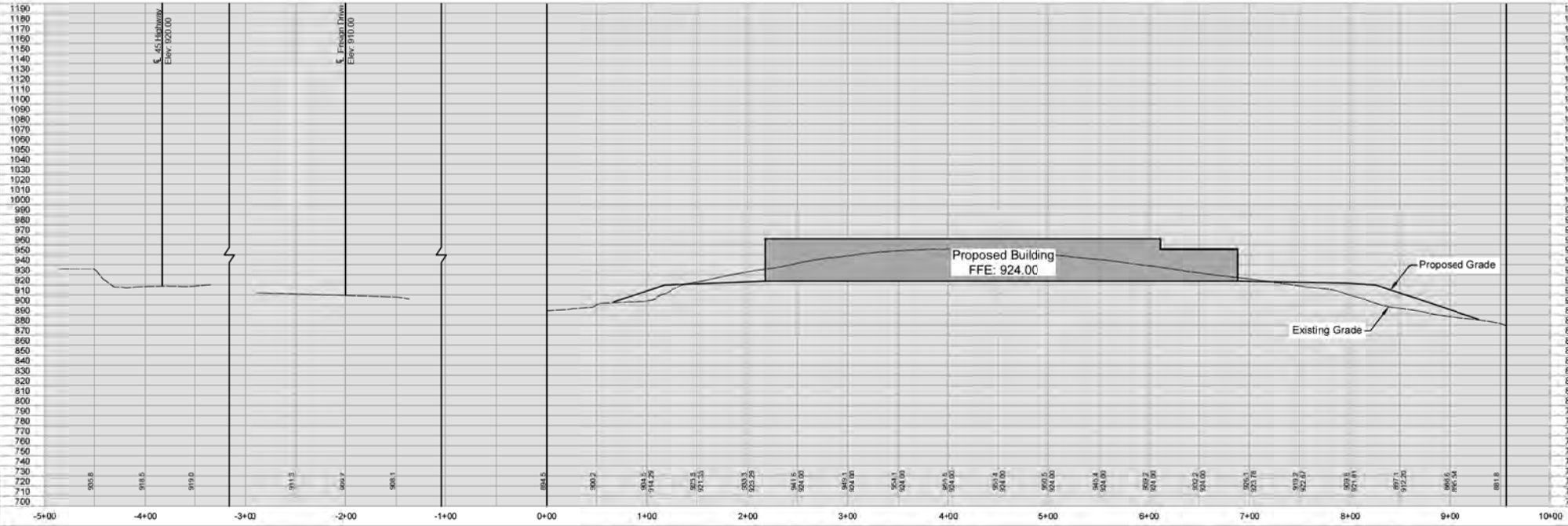
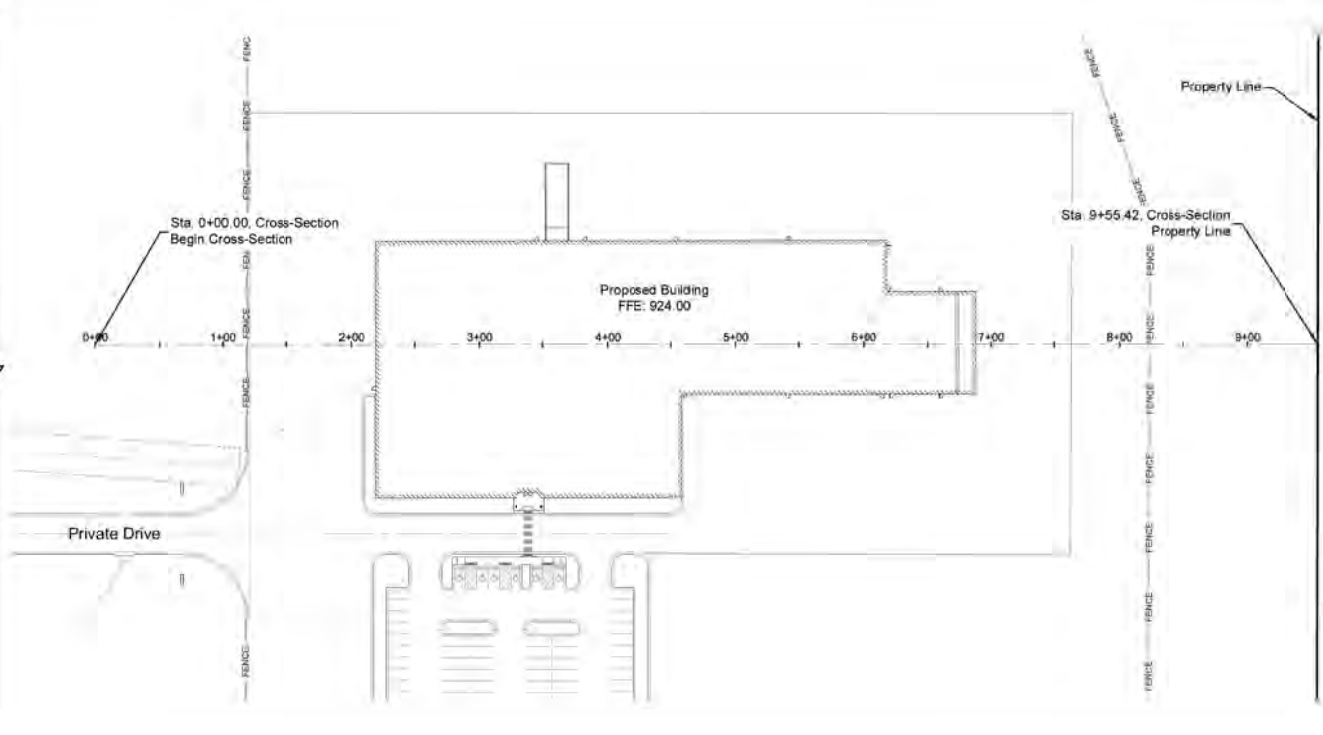
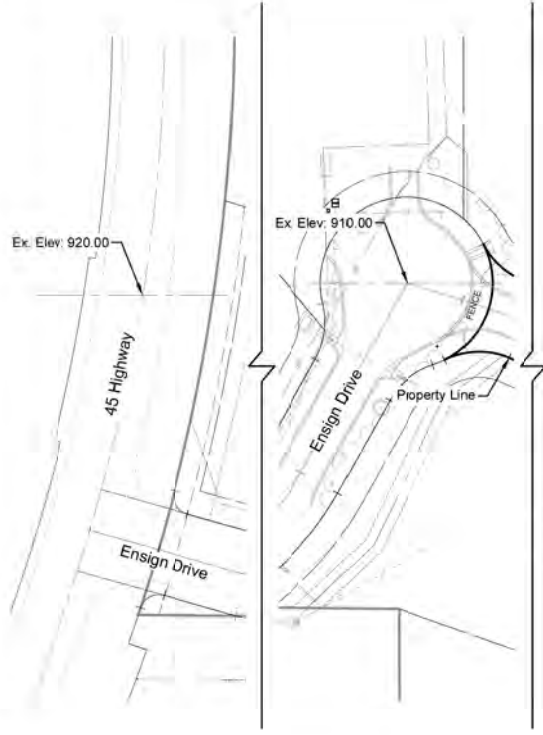
Fire Truck Specifications



NO.	DATE	DESCRIPTION
1	10/22/20	ISSUED FOR PERMITS
2	11/10/20	REVISED FOR COMMENTS
3	11/10/20	REVISED FOR COMMENTS
4	11/10/20	REVISED FOR COMMENTS
5	11/10/20	REVISED FOR COMMENTS
6	11/10/20	REVISED FOR COMMENTS
7	11/10/20	REVISED FOR COMMENTS
8	11/10/20	REVISED FOR COMMENTS
9	11/10/20	REVISED FOR COMMENTS
10	11/10/20	REVISED FOR COMMENTS

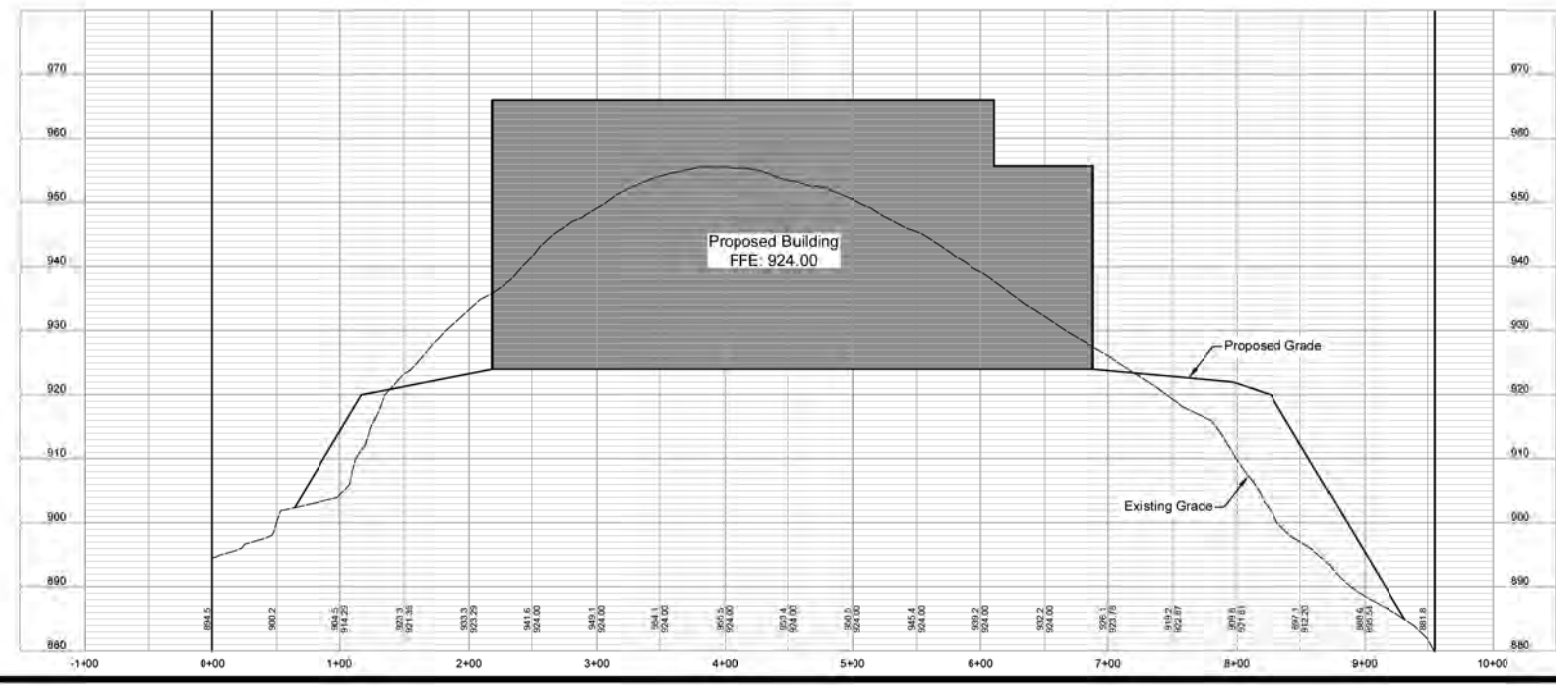
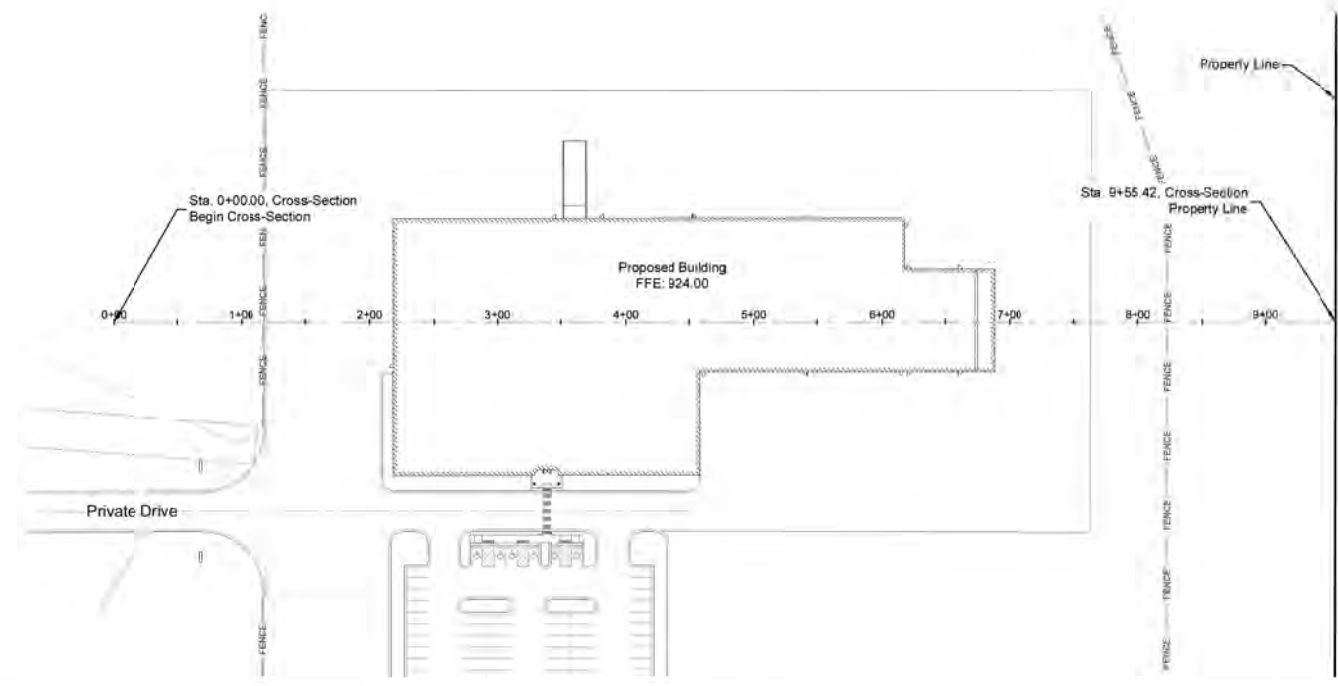
Renaissance Infrastructure Consulting
 3105 NW Canal Street, Suite 100
 Portland, Oregon 97209
 www.rii.com | 503.255.1100

STATE OF MINNESOTA
 BRETT A. HANSEN
 PROFESSIONAL ENGINEER
 LICENSE NO. 1002220
 EXPIRES 12/31/2024



1	LAND ENGINEER	BOB HALL, P.E.
2	LAND ENGINEER	DAVID HALL, P.E.
3	LAND ENGINEER	DAVID HALL, P.E.
4	LAND ENGINEER	DAVID HALL, P.E.
5	LAND ENGINEER	DAVID HALL, P.E.
6	LAND ENGINEER	DAVID HALL, P.E.
7	LAND ENGINEER	DAVID HALL, P.E.
8	LAND ENGINEER	DAVID HALL, P.E.
9	LAND ENGINEER	DAVID HALL, P.E.
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11	LAND ENGINEER	DAVID HALL, P.E.
12	LAND ENGINEER	DAVID HALL, P.E.
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16	LAND ENGINEER	DAVID HALL, P.E.
17	LAND ENGINEER	DAVID HALL, P.E.
18	LAND ENGINEER	DAVID HALL, P.E.
19	LAND ENGINEER	DAVID HALL, P.E.
20	LAND ENGINEER	DAVID HALL, P.E.

RENAISSANCE INFRASTRUCTURE CONSULTING
3105 NW CANAL STREET, SUITE 100
PORTLAND, OREGON 97209
www.rii.com



DESIGNED BY	DATE	REVISION
CHECKED BY		
APPROVED BY		
DATE		

Renaissance Infrastructure Consulting
 3105 HWY CANAL STREET, SUITE 100
 HOUSTON, TEXAS 77058
 WWW.RICCONSULTING.COM





Manufacture and install
 (2) 45" by 7'-7" internally illuminated cabinets with
 vinyl overlays
 Cabinets and faces to be painted medium grey
 NEED Color prior to production
 Faces to have opaque backgrounds

Vinyl colors:
 3630-73 Dark Red
 3630-125 Mango
 Matte Black



Client	Capital Electric
Design #	ISS-102862.CE
Sheet	4 of 4
Address	4400 NW Mattox Road Riverside, MO
Account Rep.	E PICKETT
Designer	Renaissance
Date	05-12-18
Approval / Date	
Client	
Sales	
Estimating	
Art	
Engineering	
Landlord	
Revision / Date	
	Rev 1 - 05-21-18
Drawing Title	

Illuminated
Monument Option



4900 Lister Ave
 Kansas City, MO 64130
 Phone: 816.252.3337
 Fax: 816.252.3351

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Development Plan
20-0173
Capital Electric

Sign Details

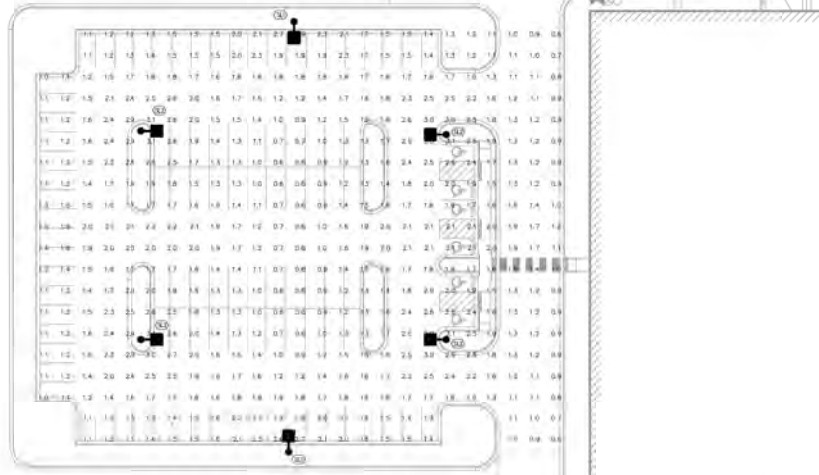
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Renaissance
Infrastructure
Consulting



PARKING LOT

AVERAGE FOOT-CANDLES	1.81
MINIMUM FOOT-CANDLES	3.1
MAXIMUM FOOT-CANDLES	3.6
MINIMUM TO MAXIMUM FC RATIO	0.18
MAXIMUM TO MINIMUM FC RATIO	0.43



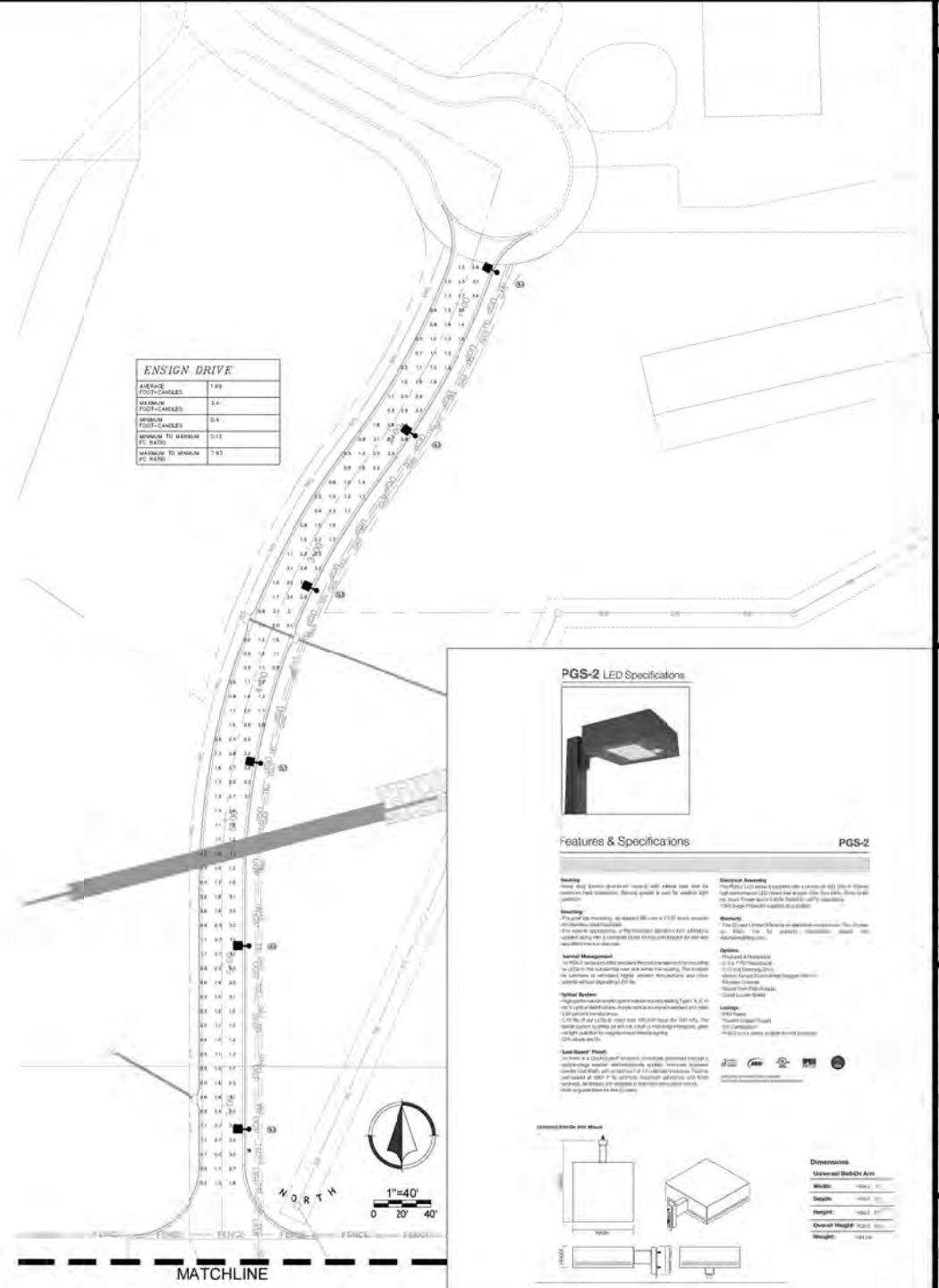
LUMINAIRE SCHEDULE

SYMBOL	SYMBOL	LAMP	QUANTITY	ARRANGING	MOUNTING HEIGHT	MODEL	LAMP EFFICIENCY
S1		(1) 40W	3	PG2	20 FT.	Manesty Lighting LLC, PGR-2-TM-BAL-20-40W-0000	0.8
S2		(1) 24W	4	PG2	20 FT.	Manesty Lighting LLC, PGR-2-TM-BAL-20-24W-0000	0.8
S3		(1) 30W	8	PG2	20 FT.	Manesty Lighting LLC, PGR-2-TM-BAL-20-30W-0000	0.9



ENSIGN DRIVE

AVERAGE FOOT-CANDLES	1.89
MINIMUM FOOT-CANDLES	3.4
MAXIMUM FOOT-CANDLES	3.4
MINIMUM TO MAXIMUM FC RATIO	0.15
MAXIMUM TO MINIMUM FC RATIO	1.93



PGS-2 LED Specifications



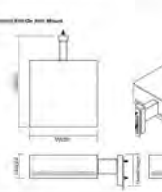
Features & Specifications

Mounting
The PGS-2 LED luminaire is designed for use with a standard 1/2" x 1/2" x 1/2" mounting bracket. The luminaire is designed for use with a standard 1/2" x 1/2" x 1/2" mounting bracket. The luminaire is designed for use with a standard 1/2" x 1/2" x 1/2" mounting bracket.

Electrical Assembly
The PGS-2 LED luminaire is designed for use with a standard 1/2" x 1/2" x 1/2" mounting bracket. The luminaire is designed for use with a standard 1/2" x 1/2" x 1/2" mounting bracket. The luminaire is designed for use with a standard 1/2" x 1/2" x 1/2" mounting bracket.

Options
The PGS-2 LED luminaire is designed for use with a standard 1/2" x 1/2" x 1/2" mounting bracket. The luminaire is designed for use with a standard 1/2" x 1/2" x 1/2" mounting bracket. The luminaire is designed for use with a standard 1/2" x 1/2" x 1/2" mounting bracket.

Lighting
The PGS-2 LED luminaire is designed for use with a standard 1/2" x 1/2" x 1/2" mounting bracket. The luminaire is designed for use with a standard 1/2" x 1/2" x 1/2" mounting bracket. The luminaire is designed for use with a standard 1/2" x 1/2" x 1/2" mounting bracket.



Dimensions

Universal Ball-On-Axis	1.50" x 1.50"
Width	1.50" x 1.50"
Depth	1.50" x 1.50"
Height	1.50" x 1.50"
Mounting Height	1.50" x 1.50"
Weight	1.50" x 1.50"

DATE	DESCRIPTION

Landscape Calculations

Street Trees:
 Private Drive: 745 LF
 Required: 1 tree / 40 LF = 19 Trees
 Provided: 21 trees

Foundation Planting: 320 LF
 Required: 75% non-paved building frontage
 1 Large Tree/50 lf of building frontage
 1 Evg. Tree/50 lf of building frontage
 1 shrub / 10 linear feet
 Provided: 58 Shrubs
 22 Evg Upright Narrow Trees
 7 Trees

Parking Lot Planting: 105 Spaces
 Required: 1 Large Tree/25 parking spaces
 1 Shrub / 10LF of perimeter buffer
 Turfgrass
 Provided: 6 Large Trees
 92 Shrubs
 Turfgrass within islands & perimeter

*No Shrubs Required, Parking Lot is located within interior of site

Buffers:
 Existing Zoning: I-2-P
 Buffer Required: Type 3, all to lesser intense distal
 Buffer Provided: See Plan

Type 3 Buffer:
 Required: 20' Width Min
 1 Large Tree / 40 LF
 1 Evg. Tree / 20 LF
 1 shrub / 10 LF
 *small trees can substitute

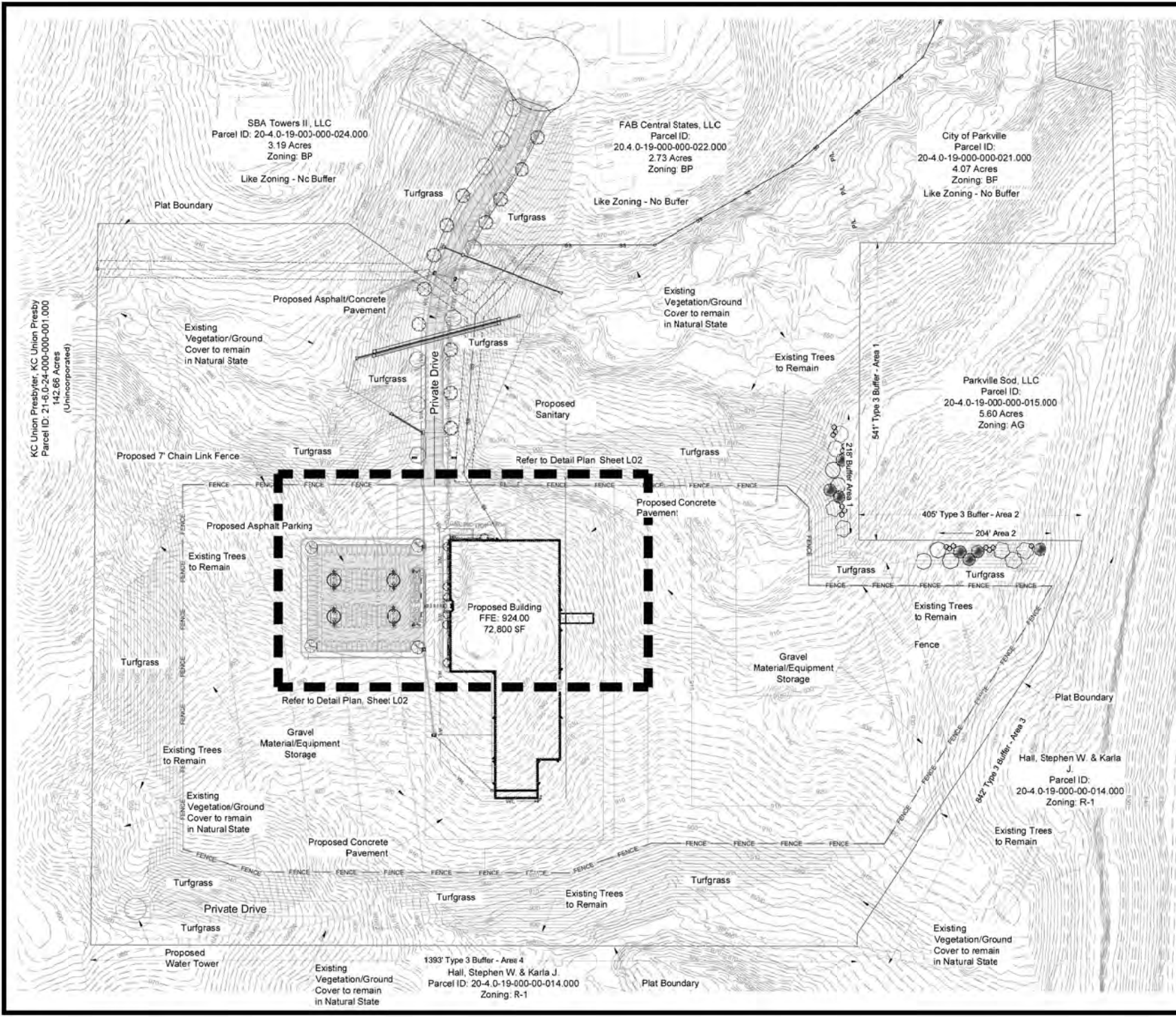
Provided:
 Parcel: 20-4-0-19-000-000-015.000
 Trees: Existing trees to remain
 Area 1: 216 LF
 Trees: 6 trees
 Evg Trees: 11 Trees
 Shrubs: 22 shrubs
 Area 2: 204 LF
 Trees: 6 trees
 Evg Trees: 11 Trees
 Shrubs: 21 shrubs

Parcel: 20-4-0-19-000-000-014.000.
 Trees: Existing trees to remain
 Area 3: No additional vegetation proposed
 Area 4: No Additional vegetation proposed

Oven Space: Not Required per Zoning

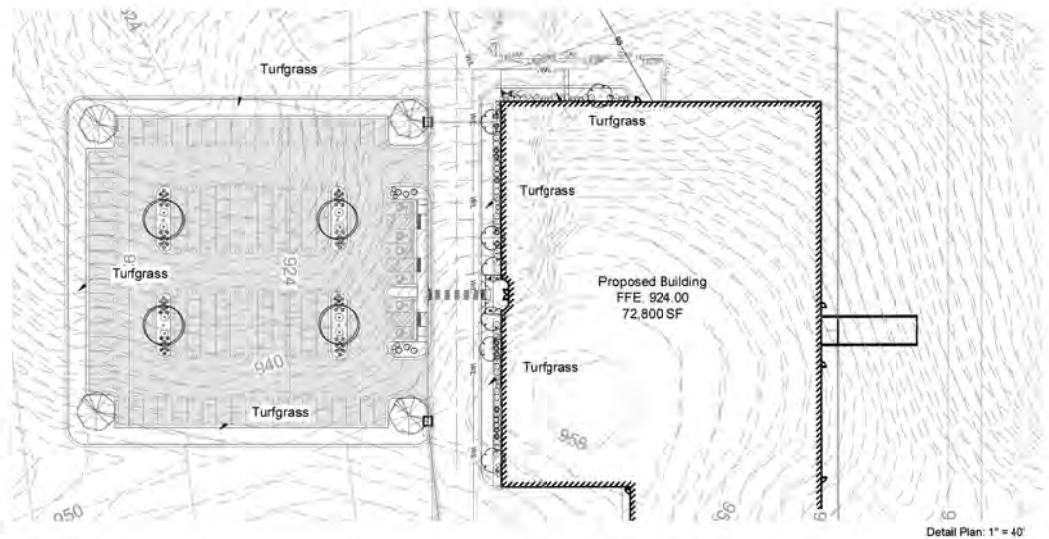
General Landscape Notes

- Refer to sheet L02 for Detail Landscape Plan, Plant Schedule, Note 5, Details
- All areas outside of the disturbed limits shall remain in a natural state. All existing trees, shrubs and groundcover shall remain as is.



PLANT SCHEDULE

DECIDUOUS TREES	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	QTY
	Acer truncatum 'Warren Red' / Pacific Sunset Maple	B&B	2" Cal		12
	Cercis canadensis 'Forest Pansy' TM / Forest Pansy Redbud	B&B	1.5" Cal		7
	Gleditsia tracanthos 'Skyline' / Skyline Honey Locust	B&B	2" Cal		4
	Nyssa sylvatica 'Wildfire' / Black Gum	B&B	2" Cal		4
	Quercus alba / White Oak	B&B	2" Cal		5
	Quercus bicolor / Swamp White Oak	B&B	2" Cal		11
	Quercus rubra / Red Oak	B&B	2" Cal		3
EVERGREEN TREES	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	QTY
	Juniperus virginiana 'Hilspire' / Hilspire Juniper	B&B		6 Ht. Min.	16
	Picea abies / Norway Spruce	B&B		6 Ht. Min.	7
SHRUBS	BOTANICAL / COMMON NAME	CONT			QTY
	Aronia melanocarpa 'Morton' TM / Iroquois Beauty Black Chokeberry	3 Gal.			2
	Hydrangea paniculata 'Little Lime' / Little Lime Hydrangea	3 Gal.			12
	Physocarpus opulifolius 'Summer Wine' / Summer Wine Ninebark	5 Gal.			5
	Spiraea japonica 'Goldmound' / Spirea	3 Gal.			8
GRASSES	BOTANICAL / COMMON NAME	CONT			QTY
	Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass	3 Gal.			72
	Miscanthus sinensis 'Gracillimus' / Maiden Grass	5 Gal.			13
EVERGREEN SHRUBS	BOTANICAL / COMMON NAME	CONT			QTY
	Ilex glabra 'Compasa' / Compact Inkberry	3 Gal.			36
	Juniperus chinensis 'Spartan' / Spartan Juniper	6 Ht.			22



LANDSCAPE NOTES

- LOCATE UTILITIES PRIOR TO COMMENCING LANDSCAPE OPERATIONS. ALL TREES SHALL BE FIELD POSITIONED AS TO AVOID CONFLICTS WITH EXISTING AND PROPOSED UTILITIES. NOTIFY LANDSCAPE ARCHITECT OF ANY CONFLICTS OR OBSTRUCTIONS.
- CONTRACTOR SHALL STAKE ALL PLANTING AREAS IN THE FIELD PRIOR TO PLANTING FOR APPROVAL OF THE OWNER OR THEIR REPRESENTATIVE.
- CONTRACTOR SHALL VERIFY ALL PLANT QUANTITIES PRIOR TO PLANTING. ANY DISCREPANCIES WITH THE PLAN SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT. THE PLAN QUANTITIES SHALL SUPERCEDE SCHEDULED QUANTITIES.
- ALL PLANT MATERIAL SHALL BE SPECIMEN QUALITY AND SHALL COMPLY WITH RECOMMENDATIONS AND REQUIREMENTS OF ANSI Z60.1 THE 'AMERICAN STANDARD FOR NURSERY STOCK'.
- ALL PLANTING BEDS & NATIVE GRASS STANDS SHALL BE EDGED AS SHOWN IN PLAN.
- PREPARE PLANTING BEDS AND INCORPORATE AMENDMENTS ACCORDING TO PLANS.
- SHREDDED HARDWOOD MULCH PER SPECIFICATIONS SHALL BE USED AS A THREE INCH (3") TOP DRESSING IN ALL PLANTING BEDS AND AROUND ALL TREES. SINGLE TREES AND SHRUBS SHALL BE MULCHED TO THE OUTSIDE EDGE OF THE SAUCER OR

LANDSCAPE ISLAND.

- ALL TREES SHALL BE STAKED PER DETAIL.
- ALL PLANT MATERIAL SHALL BE INSTALLED TO ALLOW A ONE FOOT (1') CLEARANCE BETWEEN PLANT AND ADJACENT PAVEMENT.
- THE LANDSCAPE CONTRACTOR SHALL NOT COMMENCE WORK UNTIL THE SITE IS FREE OF DEBRIS CAUSED BY ON-GOING CONSTRUCTION OPERATIONS. REMOVAL OF DEBRIS SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. LANDSCAPE WORK SHALL NOT BEGIN UNTIL THE LANDSCAPE ARCHITECT AND OWNER HAVE GIVEN WRITTEN APPROVAL FOR SUCH. THERE SHALL BE NO DELAYS DUE TO LACK OF COORDINATION FOR THIS ACTIVITY.
- THE LANDSCAPE ARCHITECT AND OWNER SHALL APPROVE GRADES AND CONDITION OF SITE PRIOR TO SODDING/SEEDING OPERATIONS.
- ALL AREAS DISTURBED DURING CONSTRUCTION AND NOT DESIGNATED FOR OTHER PLANTINGS OR HARDSCAPE SHALL BE SODDED WITH TURF TYPE FESCUE.
- ALL LANDSCAPE AREAS SHALL BE IRRIGATED. TURF AREAS SHALL BE IRRIGATED BY SPRAY OR ROTOR. PLANT BEDS SHALL BE IRRIGATED BY DRIP IRRIGATION. IRRIGATION SYSTEM SHALL INCLUDE AUTOMATIC RAIN-SENSOR DEVICE. IRRIGATION SHOP DRAWINGS SHALL BE PROVIDED BY THE CONTRACTOR FOR APPROVAL PRIOR TO CONSTRUCTION.

NOTES

- TREES THAT DO NOT MEET THE SIZE REQUIREMENT WILL BE REJECTED.
- TREES SHALL BE INSPECTED BY OWNERS REPRESENTATIVE PRIOR TO INSTALLATION.

NOTES

- CONTRACTOR SHALL LOCATE AND MARK ALL PLANTBED LOCATIONS PRIOR TO EXCAVATING FOR FINAL APPROVAL BY OWNER OR LANDSCAPE ARCHITECT.
- TRANSITION TO MULCH CONTAINMENT DETAIL AT ALL LOCATIONS ADJACENT TO CURBS & SIDEWALKS. RE: DETAIL THIS SHEET.
- CONTRACTOR TO VERIFY ALL UTILITY LOCATIONS PRIOR TO TRENCHING OR LANDSCAPE INSTALLATION.

PRUNE OUT ANY DEAD OR BROKEN BRANCHES. CUT ANY GIRDLING ROOTS OFF CLOSE TO THE CROWN. PRY LONG ROOTS OUT TO DIRECT INTO NEW SOIL. PLACE SHRUB SO CROWN IS AT SOIL LEVEL.

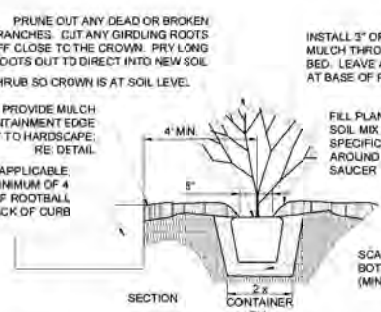
PROVIDE MULCH CONTAINMENT EDGE ADJACENT TO HARDSCAPE. RE: DETAIL.

CURE WHERE APPLICABLE. MAINTAIN A MINIMUM OF 4" TO CENTER OF ROOTBALL FROM BACK OF CURB.

INSTALL 3" OF HARDWOOD MULCH THROUGHOUT PLANTING BED. LEAVE A 6" BARE CIRCLE AT BASE OF PLANT.

FILL PLANTING HOLE WITH AMENDED SOIL MIX ACCORDING TO SPECIFICATIONS. CONSTRUCT RING AROUND PLANTED SHRUB TO FORM SAUCER.

SCARIFY PIT BOTTOM (MIN. 6")



NOTES

- REFER TO SPECIFICATIONS FOR TOPSOIL BACKFILL MIX.
- CONTRACTOR TO WATER THOROUGHLY AFTER PLANTING.
- INSTALLATION TO BE IN ACCORDANCE WITH PLANTING SPECIFICATIONS.
- WHERE ADJACENT TO CURB, MAINTAIN THE MINIMUM OFFSET SHOWN. FOR SHRUBS LARGER THAN 4" MATURE DIAMETER, PROVIDE A GREATER OFFSET EQUAL TO 1/2 OF THE MATURE DIAMETER MINIMUM.

SHRUB PLANTING DETAIL - NTS



PRUNE OUT ANY DEAD OR BROKEN BRANCHES AND REMOVE DEBRIS FROM SITE. SECURE TREE TO STAKES WITH STRAPS (RE: SPECS) STRAPS SHALL BE LOOSE ENOUGH TO ALLOW SOME MOVEMENT OF THE TRUNK WITH THE WIND. SET TREE WITH TOP OF ROOT BALL FLUSH WITH GRADE. TRUNK FLARE MUST BE VISIBLE AT THE TOP OF ROOT BALL. REMOVE EXCESS SOIL TO TOP OF LATERAL ROOTS. MIN. 6" LONG STEEL STAKES SECURED INTO UNDISTURBED SOIL. PLACE NORTH AND SOUTH OF TREE.

3" MULCH PER SPECIFICATIONS. DO NOT PLACE ON TRUNK OR TRUNK FLARE. BERM AT OUTER EDGES OF RING TO CREATE A SAUCER FORM. REMOVE TWINE AND CAGE FROM ROOT BALL AND TRUNK. PEEL AND REMOVE BURLAP FROM TO 1/3 OF THE ROOT BALL.

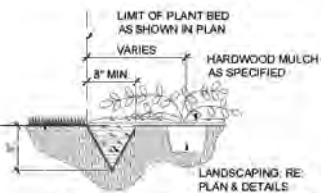
PLANTING HOLE SHALL BE AT LEAST 3 TIMES WIDER THAN THE SPREAD OF ITS ROOTS, BUT NO DEEPER. PLACE ROOT BALL ON UNDISTURBED SOIL WITH ROOT FLARE EVEN WITH OR 1" ABOVE GRADE. SCARIFY SIDES AND BOTTOM OF PIT. AMEND SOIL ACCORDING TO SPECIFICATIONS.

DECIDUOUS TREE PLANTING DETAIL - NTS



UTILITY BOXES SHALL BE CLUSTERED AS MUCH AS POSSIBLE

TYPICAL UTILITY BOX SCREENING DETAILS - NTS



LANDSCAPING, RE: PLAN & DETAILS. V-CUT NATURAL EDGING WITH MULCH BACKFILL.

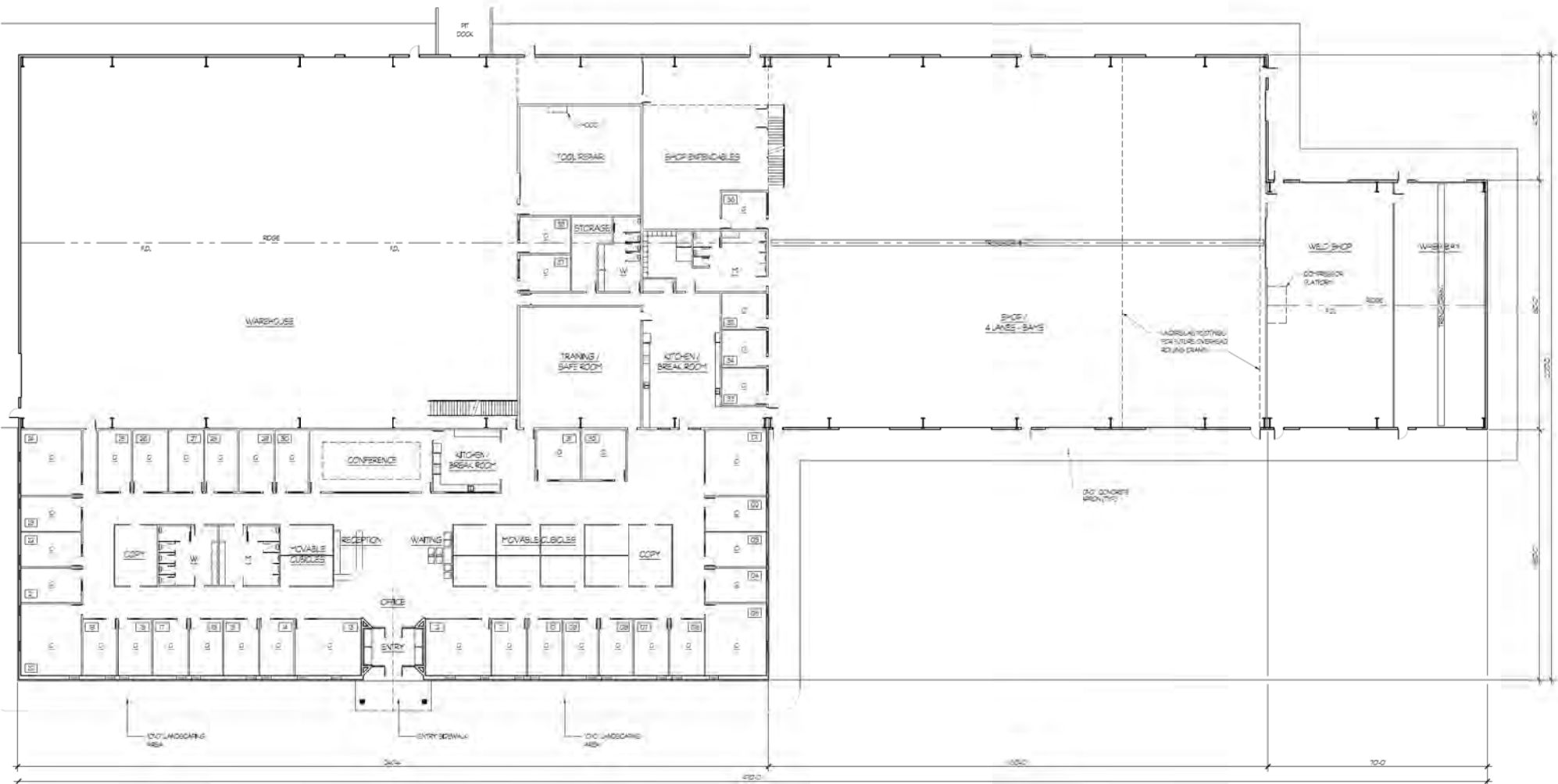
V-CUT NATURAL EDGE DETAIL - NTS

Renaissance Infrastructure Consulting

3100 HWY CANAL STREET, SUITE 100
DALLAS, TEXAS 75201
WWW.RICCONSULTING.COM

DATE	BY	CHK	APP

AS PER CITY COMMENTS
DESIGNED BY: [Name]
DRAWN BY: [Name]
CHECKED BY: [Name]
DATE: [Date]



FLOOR PLAN
SCALE 1/8" = 1'-0"



**Capital Electric
Line Builders, Inc.**
PARKVILLE, MISSOURI

JOB NUMBER:
DATE: 08-30-20
REVISIONS:

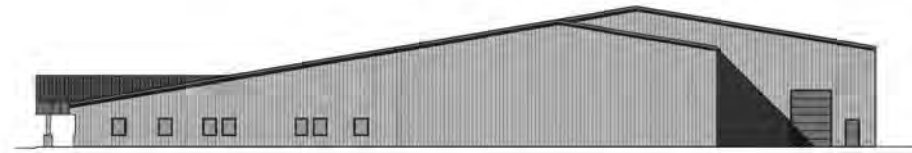
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FLOOR PLAN
A100



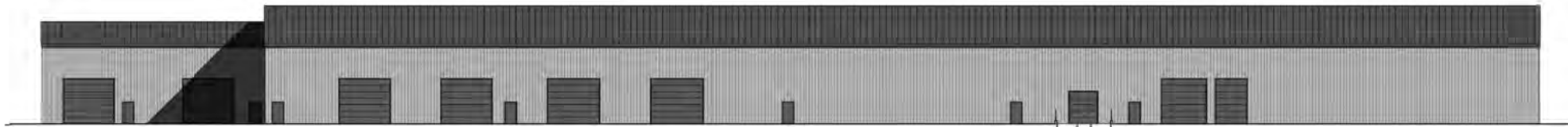
NORTH ELEVATION

SCALE 1/8"=1'-0"



SOUTH ELEVATION

SCALE 1/8"=1'-0"



EAST ELEVATION

SCALE 1/8"=1'-0"



WEST (FRONT) ELEVATION

SCALE 1/8"=1'-0"

1/2" GA. STEEL ROOF SYSTEM
COOL EMERALD GREEN

STONE VAINCOIT
JERICO NO RED

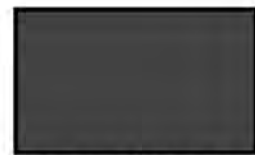
PAVING - STY'S WALL & FLUTED STEEL WALL SYSTEM
COOL GRAY STONE

STONE/FRONT & WINDOW FRAMES
LIGHT BRONZE ALUMINUM

SHADOW WALL STEEL WALL SYSTEM
COOL SHELL GRAY

STEEL / ALUMINUM
OVERHEAD & MAIN DOORS & FRAMES
COOL GRAY STONE

SHADOW WALL STEEL WALL SYSTEM
COOL SHELL GRAY



COOL EMERALD GREEN



COOL GRAY STONE



COOL SHELL GRAY



ALUMINUM
LIGHT BRONZE



STONE
JERICO NO RED



RLS ARCHITECTS
4011 HOMESTEAD DRIVE
PRAIRIE VILLAGE, KS 66208
913.394.0134
rlsarchi@aol.com

Capital Electric
Line Builders, Inc.

PARKVILLE, MISSOURI

JOB NUMBER:

DATE: 08-11-20

REVISIONS:

DRAWN BY: GAC

ELEVATIONS
&
MATERIALS

A200



RLS ARCHITECTS
4011 HOMESTEAD DRIVE
PRAIRIE VILLAGE, KS 66208
913.394.0134
rlsarchi@aol.com

Capital Electric
Line Builders, Inc.
PARKVILLE, MISSOURI

JOB NUMBER:
DATE: 09-21-20
REVISIONS:

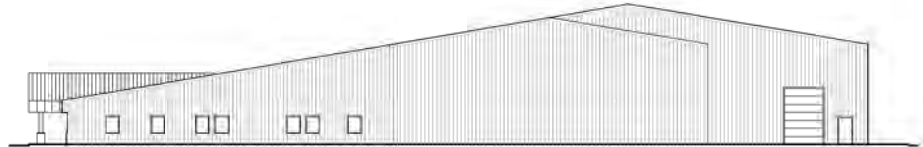
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ELEVATIONS

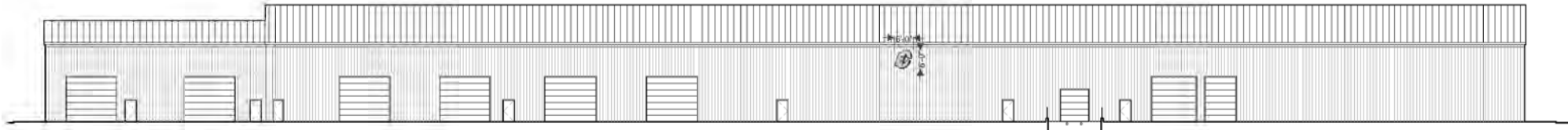
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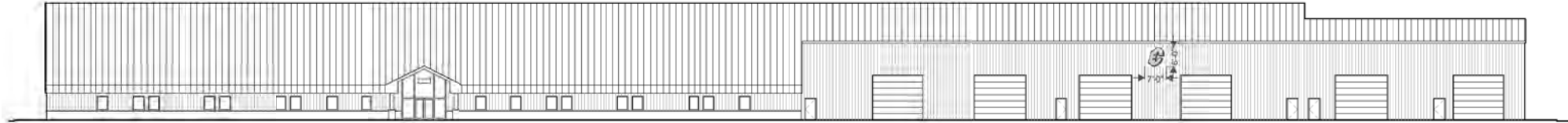
NORTH ELEVATION
SCALE: 1/8" = 1'-0"



SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



EAST ELEVATION
SCALE: 1/8" = 1'-0"



WEST (FRONT) ELEVATION
SCALE: 1/8" = 1'-0"