

THE MEADOWS AT CREEKSIDE

A SUBDIVISION IN PARKVILLE, PLATTE COUNTY, MISSOURI

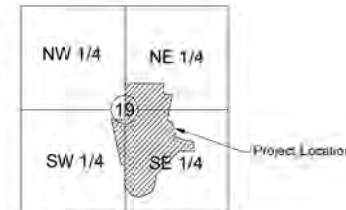
FINAL DEVELOPMENT PLAN

TOTAL SITE AREA 79.99 AC

PROPERTY DESCRIPTION

All that part of Section 19, Township 51 North, Range 34 West of the 5th P.M., Platte County, Missouri, and being all or portions of parcels conveyed in Document 2016007192 in Book 1261 at Page 994 and including portions of Lot 1, OSEGUERA ESTATE, all of the Records of said Platte County, and described as follows:

Commencing at the Southwest corner of the Southeast Quarter of said Section 19; thence N 00°16'45" W, 660.00 feet to the POINT OF BEGINNING; thence continuing N 00°16'45" W, along the West line of said Southeast Quarter, 1965.54 feet to the Southwest corner of the Northeast Quarter of said Section 19; thence N 00°13'43" E, along the West line of said Northeast Quarter, 657.19 feet to the Northwest corner of the South half of the Southwest Quarter of said Northeast Quarter; thence S 89°56'27" E, along the North line of said South half, 1285.59 feet to a point being on the Westerly NW Brink-Meyer Road right-of-way line; thence along said Westerly right-of-way line, the following twelve courses: thence Southerly along a non-tangent curve to the right, having a radius of 965.00 feet, an arc length of 101.96 feet and a chord which bears S 04°40'55" W, 101.91 feet; thence S 07°42'32" W, 155.23 feet; thence Southerly along a non-tangent curve to the right, having a radius of 666.98 feet, an arc length of 15.00 feet and a chord which bears S 08°21'22" W, 15.00 feet; thence N 89°05'16" W, 12.39 feet; thence S 10°08'51" W, 41.06 feet; thence S 78°46'48" E, 12.17 feet; thence Southerly along a non-tangent curve to the right, having a radius of 663.00 feet, an arc length of 146.09 feet and a chord which bears S 18°57'41" W, 145.79 feet; thence S 25°16'26" W, 178.12 feet; thence Southerly along a non-tangent curve to the left, having a radius of 1535.06 feet, an arc length of 677.18 feet and a chord which bears S 12°38'18" W, 671.71 feet; thence S 00°00'00" E, 674.54 feet; thence Southerly along a curve to the right, having a radius of 966.00 feet, an arc length of 194.95 feet and a chord which bears S 05°50'49" W, 196.61 feet; thence S 1°14'13" W, 47.15 feet to a point on the Southerly line of a parcel of land conveyed as Parcel A in said Document 2016007192; thence along said Southerly line of said Parcel A, the following six courses: thence S 44°18'45" W, 161.93 feet; thence S 08°07'50" W, 301.78 feet; thence S 22°05'31" W, 167.14 feet; thence S 66°38'01" W, 321.43 feet; thence N 79°17'55" W, 245.01 feet; thence N 40°17'55" W, 148.22 feet to a point on the southerly prolongation of the Easterly line of Lot 3 of said OSEGUERA ESTATE, and from which the southerly corner thereof bears N 42°17'11" E, 156.06 feet; thence N 41°12'18" E, 134.18 feet to the POINT OF BEGINNING.



SECTION MAP
SEC. 19 TW. 51 RNG. 34



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SUMMARY TABLE

This represents a Planned Residential Development with internal circulation, public streets, private streets, and access off Brink Meyer Road. Current zoning (P-P-4) Mixed-Density Residential.

Development Type:

Development Type	Units	Parking
Single Family	101	404
Townhome Units	100 (25 Buildings)	144
Apartment Units	216 (11 Buildings)	324

UTILITY CONTACTS

City of Parkville	(616) 741-7676
CPVSD #1 of Platte County	(616) 891-3457
Platte County Regional Sewer District	(616) 858-2052
Spire Energy	(800) 582-1234
Evergy	(866) 471-5275
Platte Clay Electric	(616) 807-7502
Century Link	(616) 243-5542
United Private Networks	(616) 903-9400
Time Warner Cable	(616) 431-5616
Missouri One Call	(800) DIG-RITE
AT&T	(800) 464-7928
Comcast	(616) 891-3457
Missouri State Highway Department	(616) 822-0500
Park Hill School District	(616) 359-9000

Parking Requirements

Parking Requirement for Apartment Buildings A

Accessed approach	1 BR UNITS	2 BR UNITS	Total Parking	Bicycle Parking
(1.5 SPACE / 1 BR UNIT)	12		12	0
(1.5 SPACE / 2 BR UNIT)		12	12	0
TOTAL REQUIRED SPACES =	24		24	
TOTAL PROVIDED SPACES =	24		24	

Parking Requirement for Apartment Buildings B

Accessed approach	1 BR UNITS	2 BR UNITS	Total Parking	Bicycle Parking
(1.5 SPACE / 1 BR UNIT)	12		12	0
(1.5 SPACE / 2 BR UNIT)		12	12	0
TOTAL REQUIRED SPACES =	24		24	
TOTAL PROVIDED SPACES =	24		24	

Parking Requirement for Apartment Buildings C

Accessed approach	1 BR UNITS	2 BR UNITS	Total Parking	Bicycle Parking
(1.5 SPACE / 1 BR UNIT)	12		12	0
(1.5 SPACE / 2 BR UNIT)		12	12	0
TOTAL REQUIRED SPACES =	24		24	
TOTAL PROVIDED SPACES =	24		24	

Parking Requirement for Apartment Buildings D

Accessed approach	1 BR UNITS	2 BR UNITS	Total Parking	Bicycle Parking
(1.5 SPACE / 1 BR UNIT)	12		12	0
(1.5 SPACE / 2 BR UNIT)		12	12	0
TOTAL REQUIRED SPACES =	24		24	
TOTAL PROVIDED SPACES =	24		24	

Parking Requirement for Apartment Buildings E

Accessed approach	1 BR UNITS	2 BR UNITS	Total Parking	Bicycle Parking
(1.5 SPACE / 1 BR UNIT)	12		12	0
(1.5 SPACE / 2 BR UNIT)		12	12	0
TOTAL REQUIRED SPACES =	24		24	
TOTAL PROVIDED SPACES =	24		24	

Parking Requirement for Apartment Buildings F

Accessed approach	1 BR UNITS	2 BR UNITS	Total Parking	Bicycle Parking
(1.5 SPACE / 1 BR UNIT)	12		12	0
(1.5 SPACE / 2 BR UNIT)		12	12	0
TOTAL REQUIRED SPACES =	24		24	
TOTAL PROVIDED SPACES =	24		24	

Parking Requirement for Apartment Buildings G

Accessed approach	1 BR UNITS	2 BR UNITS	Total Parking	Bicycle Parking
(1.5 SPACE / 1 BR UNIT)	12		12	0
(1.5 SPACE / 2 BR UNIT)		12	12	0
TOTAL REQUIRED SPACES =	24		24	
TOTAL PROVIDED SPACES =	24		24	

VICINITY MAP (Scale: 1"=1500')

Parking Requirement for Apartment Buildings G

Accessed approach	1 BR UNITS	2 BR UNITS	Total Parking	Bicycle Parking
(1.5 SPACE / 1 BR UNIT)	12		12	0
(1.5 SPACE / 2 BR UNIT)		12	12	0
TOTAL REQUIRED SPACES =	24		24	
TOTAL PROVIDED SPACES =	24		24	

Parking Requirement for Apartment Buildings H

Accessed approach	1 BR UNITS	2 BR UNITS	Total Parking	Bicycle Parking
(1.5 SPACE / 1 BR UNIT)	12		12	0
(1.5 SPACE / 2 BR UNIT)		12	12	0
TOTAL REQUIRED SPACES =	24		24	
TOTAL PROVIDED SPACES =	24		24	

Parking Requirement for Apartment Buildings I

Accessed approach	1 BR UNITS	2 BR UNITS	Total Parking	Bicycle Parking
(1.5 SPACE / 1 BR UNIT)	12		12	0
(1.5 SPACE / 2 BR UNIT)		12	12	0
TOTAL REQUIRED SPACES =	24		24	
TOTAL PROVIDED SPACES =	24		24	

Parking Requirement for Clubhouse

Parking Required	Units	Total Parking
(1 SPACE / 1,000 sq ft Program Space)	4,000 sq ft	4
TOTAL REQUIRED SPACES =	4	4
TOTAL PROVIDED SPACES =	4	4

Parking Requirement for Trail Head Playground

Parking Required	Units	Total Parking
(1 SPACE / 1,000 sq ft Program Space)	4,000 sq ft	7
(1 SPACE / 10,000 sq ft Unimproved Ground)	4,250 sq ft	7
TOTAL REQUIRED SPACES =	8	14
TOTAL PROVIDED SPACES =	12	14

DEVELOPER:

Parkville Development '70, LLC
C/O Brian Mertz
7807 NW John Anders Rd.
Kansas City, MO 64152

ENGINEER:

Renaissance Infrastructure Consulting, LLC
5015 NW Canal Street, Suite 100
Riverside, MO, 64150
(816) 800-0950

SURVEYOR:

Renaissance Infrastructure Consulting, LLC
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LEGEND

Existing Section Line	Proposed Right-of-Way
Existing Right-of-Way Line	Proposed Property Line
Existing Lot Line	Proposed Lot Line
Existing Easement Line	Proposed Easement
Existing Curb & Gutter	Proposed Curb & Gutter
Existing Sidewalk	Proposed Sidewalk
Existing Storm Sewer	Proposed Storm Sewer
Existing Storm Structure	Proposed Storm Structure
Existing Waterline	Proposed Fire Hydrant
Existing Gas Main	Proposed Waterline
Existing Sanitary Sewer	Proposed Sanitary Sewer
Existing Sanitary Manhole	Proposed Sanitary Manhole
Existing Contour Major	Proposed Contour Major
Existing Contour Minor	Proposed Contour Minor
	Future Curb & Gutter

NOTE: LOADING AREAS NOT APPLICABLE

Sheet
C01

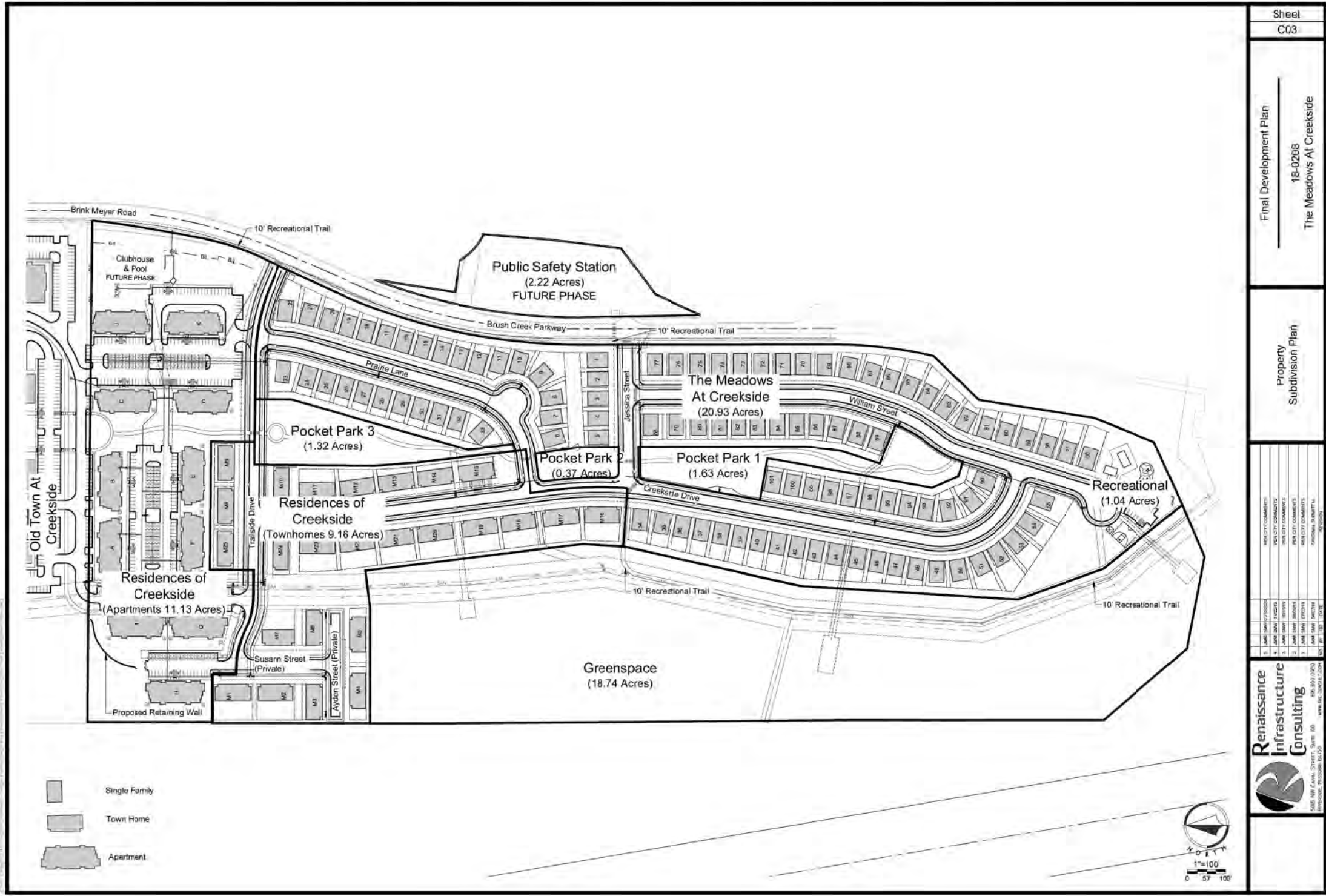
Final Development Plan

18-0208
The Meadows At Creekside

Cover Sheet

Renaissance
Infrastructure
Consulting

811
Know what's below.
Call before you dig.



Sheet
C03

Final Development Plan
18-0208
The Meadows At Creekside

Property
Subdivision Plan

REVISION COMMENTS	REVISION COMMENTS
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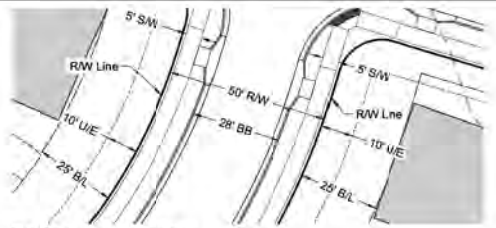
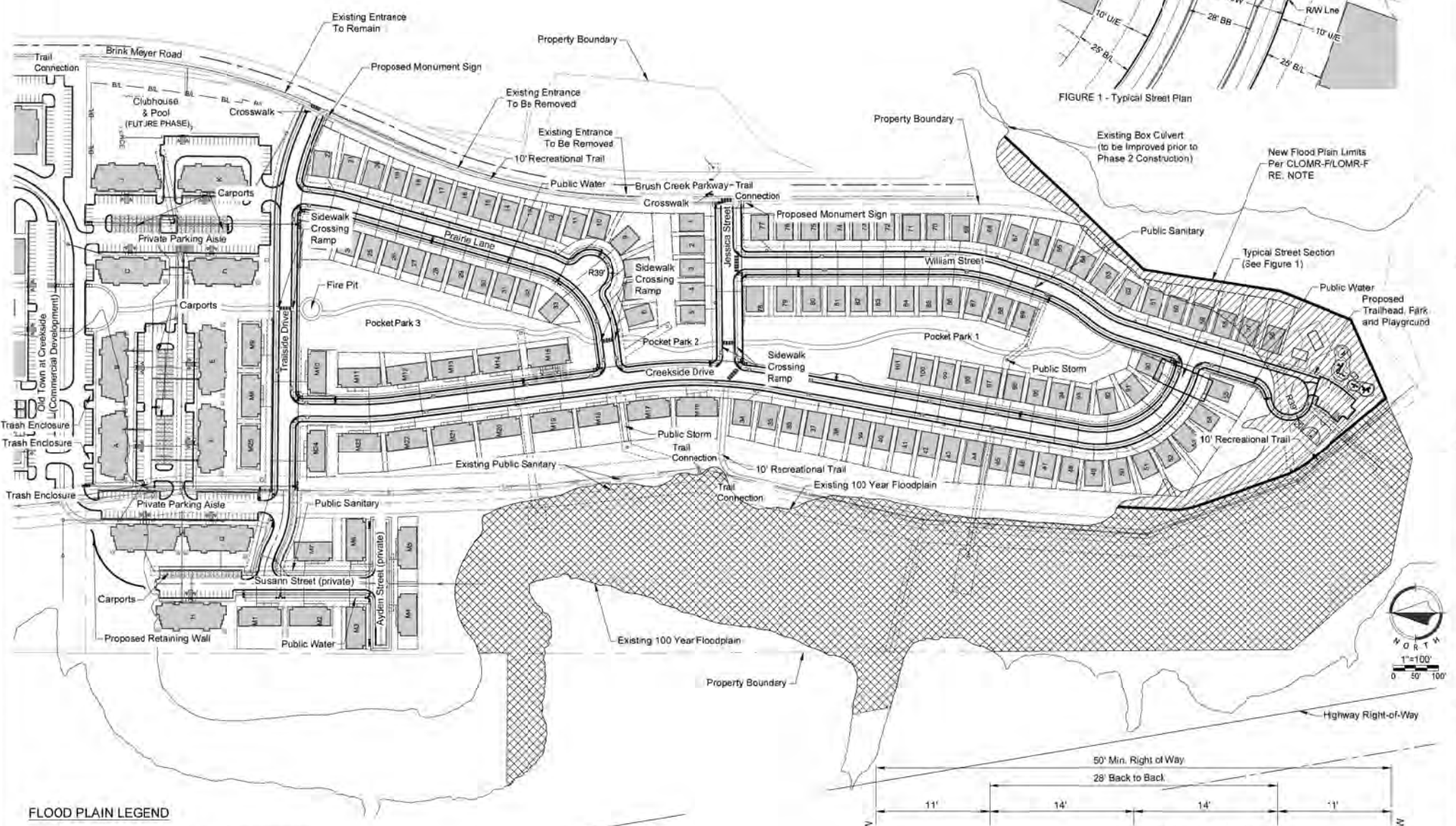


FIGURE 1 - Typical Street Plan

Existing Box Culvert
(to be improved prior to
Phase 2 Construction)

New Flood Plain Limits
Per CLOMR-FLOMR-F
RE. NOTE

Typical Street Section
(See Figure 1)



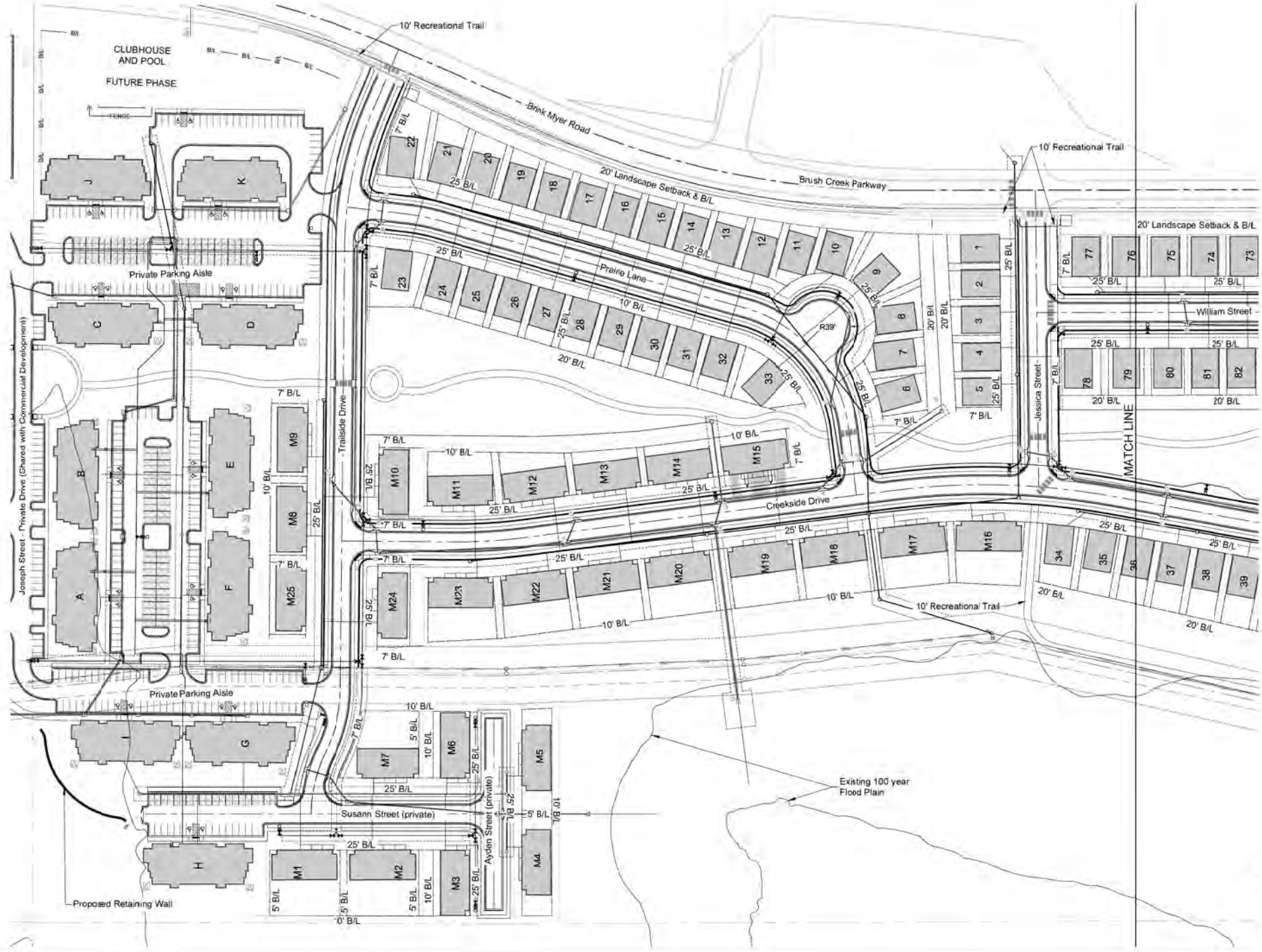
FLOOD PLAIN LEGEND

- Existing Flood Plain to be Removed with CLMR/FLMR
- Existing Flood Plain to Remain

CLOMR-FLOOD PLAIN NOTE:
New flood plain boundaries per
Case Number: 19-07-0977
Community: City of Parkville, Platte County, Missouri
Community Number: 290294
Approved: April 26, 2019

- Single Family
- Town Home
- Apartment

DATE: 11/15/2018 11:51 AM
PROJECT: THE MEADOWS AT CREEKSIDE



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Final Development Plan

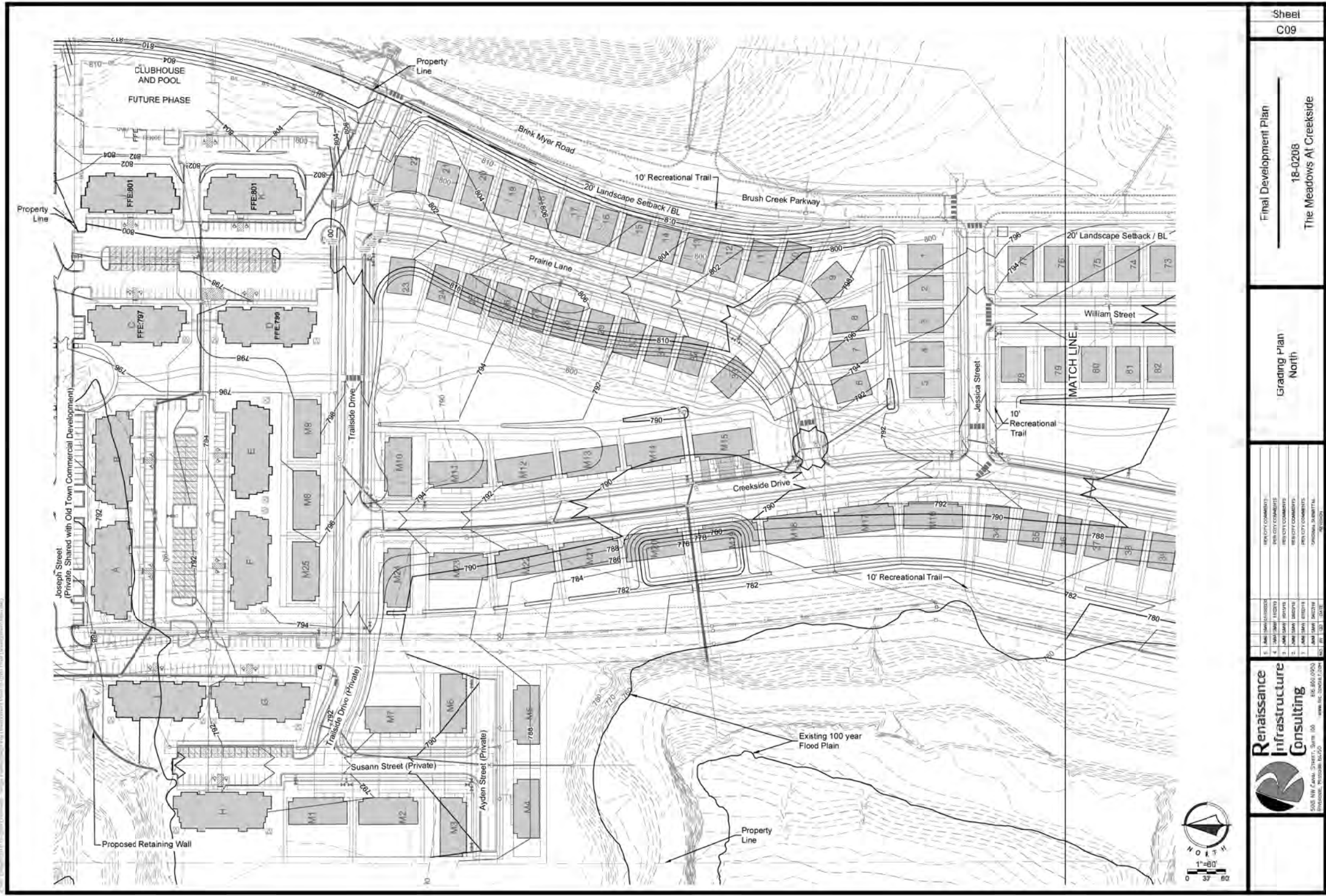
Building Setback Plan

North

Sheet C07

18-0208

The Meadows at Creekside



Sheet
C09

Final Development Plan
18-0208
The Meadows at Creekside

Grading Plan
North

REVISION COMMENTS	REVISION COMMENTS
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CREEKSIDE TOTAL LAND AREA 66.54

SINGLE FAMILY	
Residential uses	
Area and density	
Gross area	20.0
Area of right of way	4.8
Net area	15.2
Number of units lots	1

lots	All shows are minimum
Front lot width at Building line	5
Depth of lot	20
Square footage of lot	500
Front Yard Setback	2
Side Yard Setback	
Corner lot-side yard setback	
Rear Yard setback	2

Parking	Per Unit
On site with garage	1
Off site	0
Total Parking	40

Streets	Public
Width of Right of way	5
Width of street	3
Sidewalk width	1
Street horizontal radius	19
Radius of radius	
Right of way	5
Back of curb	3
Design speed	25 mph

TOWNHOMES (ALL ARE 3 BEDROOM UNITS)	
Residential areas	
Areas and density	
Gross area	9.1
Area of right of way	1.9
Net area	7.5
Number of units	10
Number of buildings	2

Items	All shown are minimums
Front lot width at building line	30
Depth of lot	9
Square footage of lot	900
Front Yard Setback	2
Side Yard Setback	
Corner lot side yard setback	
Rear Yard setback	3

Parking	Fees and Charges
On site with garage	
Off site	
Total Parking	20

Streets	Public
Width of right of way	30
Width of street	30
Sidewalk width	6
Street horizontal radius	10
Radius of circles	
Right of way	5
Back of curb	3
Design speed	25 mph

Apartments	
Residential area is	
Average density	
Distance	11.11
Area of right of way	0.00
Net area	11.11
Number of units	76
Number of buildings	1

Items	All shown are minimums	
Front lot width at building line	140'	
Depth of lot	140'	
Square footage of pt.	74,000	
Front Yard Setback	10'	
Side Yard Setback	5'	
Corner lot side yard setback	10'	
Rear Yard setback	10'	

Parking	Per Unit
On-site	1.3
Off-site	0
Total Parking	1.3

Streets	Private
Width of Right of way	60
Width of street	25
Sidewalk width	5
Street horizontal radius	60
Radius of curve	
Right of way	60
Back of curb	60
Design speed	35 mph

LOT AREAS														
TOWNHOMES			SINGLE FAMILY LOTS		Phase 1		SINGLE FAMILY LOTS		Phase 2		Apartments			
Lot Number	Lot Area (SF)	Lot Area (Ac)	Lot Number	Lot Area (SF)	Lot Area (Ac)	Lot Number	Lot Area (SF)	Lot Area (Ac)	Lot Number	Lot Area (SF)	Lot Area (Ac)	Lot Number	Lot Area (SF)	Lot Area (Ac)
1	13545	0.31	1	7710	0.177	51	8947	0.16				34	408143	9.37
2	13708	0.31	2	5810	0.133	52	8721	0.20						
3	10955	0.25	3	5704	0.131	53	10358	0.24						
4	11714	0.27	4	5597	0.129	54	8459	0.19						
5	11945	0.27	5	5491	0.126	55	8679	0.20						
6	11002	0.25	6	7098	0.161	56	11016	0.25						
7	13130	0.30	7	6294	0.144	57	9541	0.22						
8	9405	0.22	8	6648	0.153	58	8488	0.19						
9	9480	0.22	9	11023	0.253	59	8021	0.18						
10	9654	0.22	10	6413	0.147	60	7553	0.17						
11	11397	0.26	11	6491	0.149	61	7086	0.16						
12	10441	0.24	12	6078	0.14	62	8036	0.14						
13	9331	0.21	13	5803	0.133	63	7299	0.17						
14	9328	0.21	14	5620	0.129	64	7802	0.17						
15	9522	0.22	15	5519	0.127	65	7827	0.18						
16	12913	0.30	16	5499	0.126	66	8048	0.18						
17	12949	0.30	17	5561	0.128	67	6794	0.16						
18	12655	0.29	18	5704	0.131	68	7181	0.16						
19	13017	0.30	19	5930	0.136	69	8628	0.15						
20	13035	0.30	20	7056	0.162	70	6599	0.15						
21	12102	0.28	21	7044	0.162	71	5588	0.13						
22	12440	0.29	22	9651	0.222	72	5648	0.13						
23	12592	0.29	23	10773	0.247	73	5653	0.13						
24	11359	0.26	24	6000	0.138	74	5659	0.13						
25	9335	0.21	25	6000	0.138	75	5664	0.13						

Recreation Area	
Recreation areas (Basketball Courts, Tennis Courts, Softball Courts & Games area)	
Area and Density	
Gross area	25.1
Area of right of way	0.0
Net area	25.1
Number of units lots	

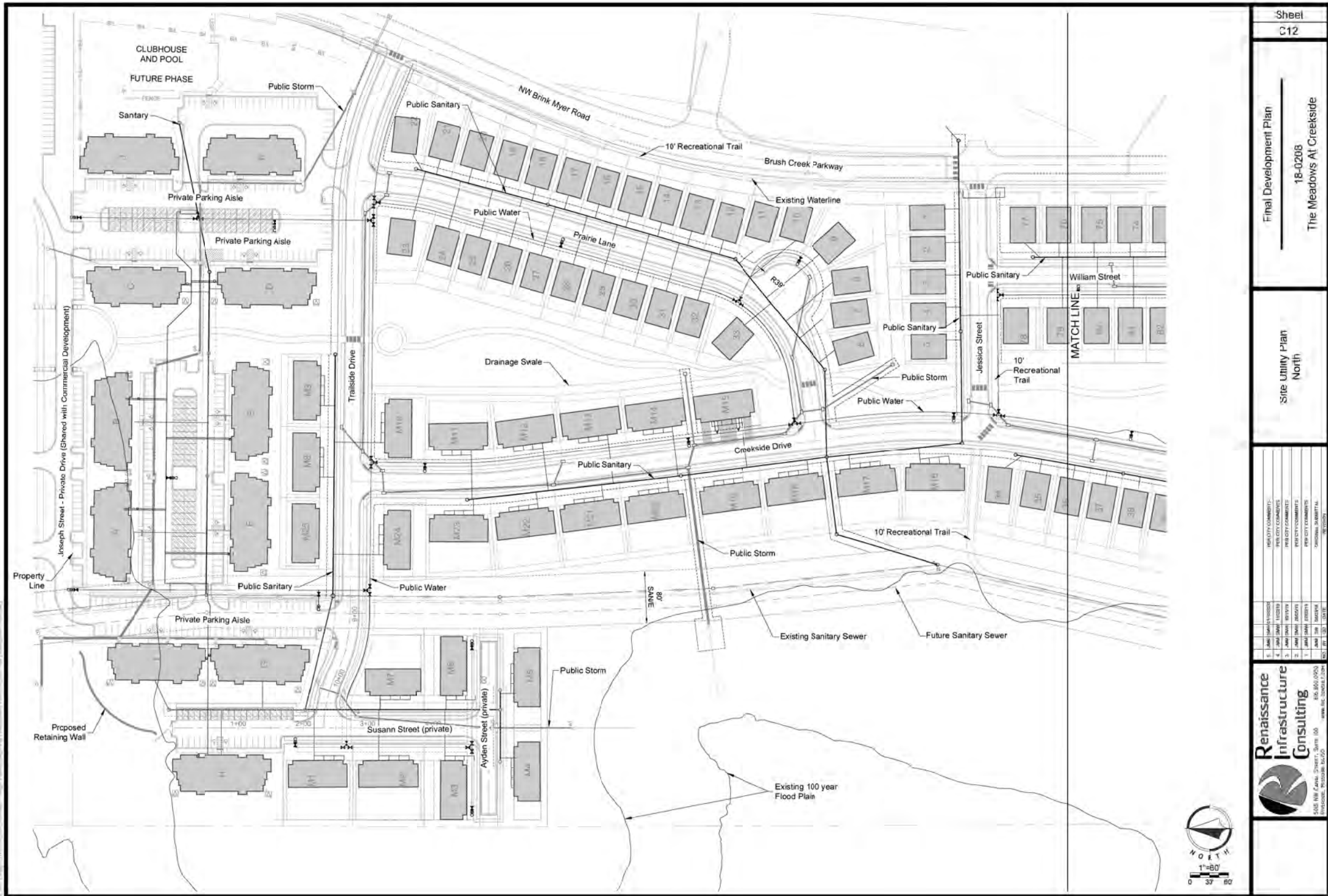
Lot		All shown are minimums
Front lot width at Building line	60'	W
Depth of lot	120'	W
Square footage of lot	7200	W
Front Yard Setback	30'	M
Side Yard Setback	75'	75'
Corner lot side yard setback	40'	M
Rear Yard setback	30'	M

Parking	
On site	S
Off site	
Truck parking	S

Street	Public
Width of Right of way	5
Width of street	2
Sidewalk width	
Street horizontal radius	15
Curbside radius	
Right of way	5
Back of curb	1
Design speed	25 mph

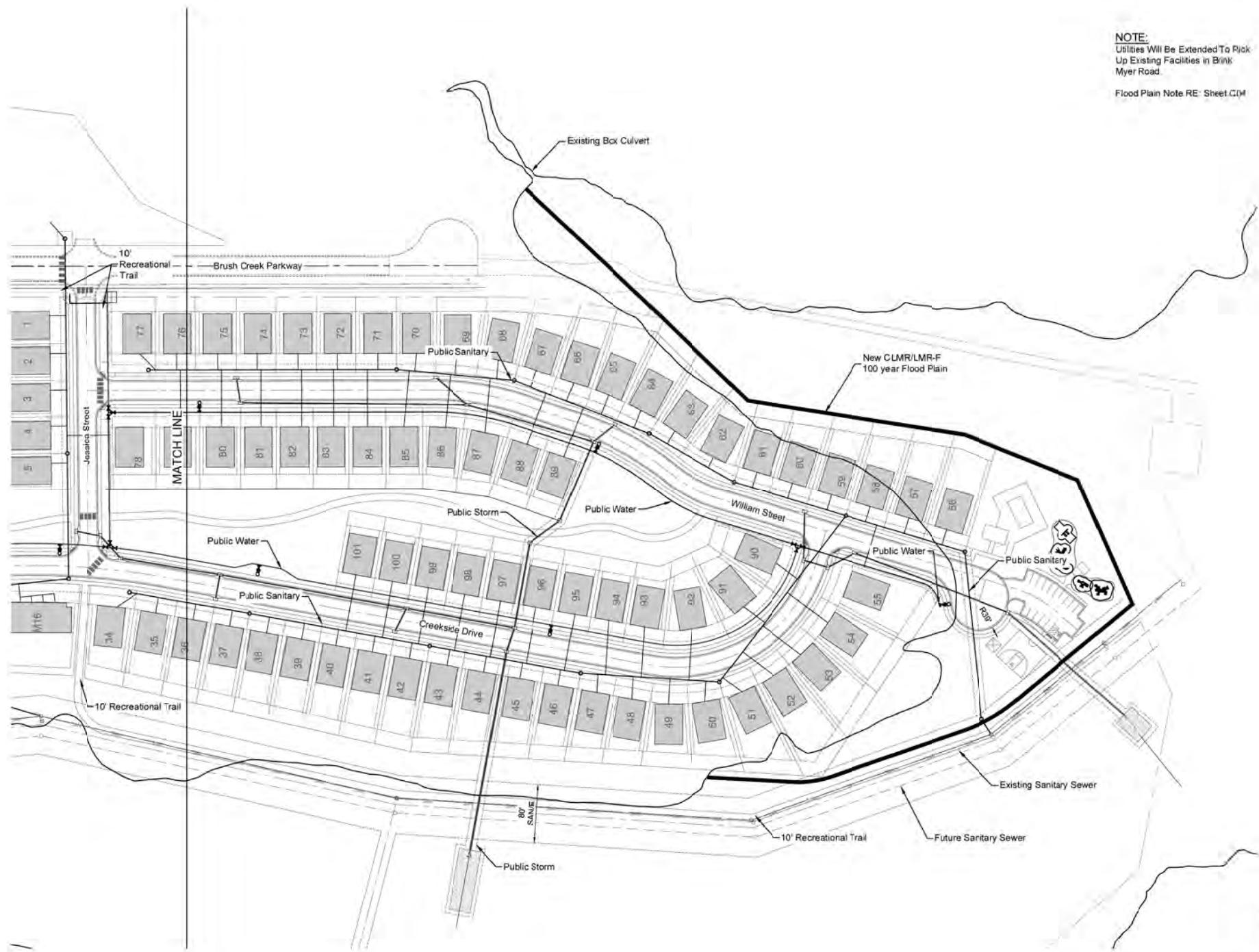
SINGLE FAMILY LOTS		Phase 2	84	5500	0.13
Lot Number	Lot Area (SF)	Lot Area (Ac)	85	5500	0.13
35	7634	0.175	86	5300	0.13
36	7413	0.17	87	5948	0.14
37	6758	0.156	88	6177	0.14
38	6904	0.159	89	5969	0.14
39	7011	0.161	90	5992	0.14
40	7118	0.163	91	7225	0.17
41	7225	0.166	92	7229	0.17
42	7352	0.168	93	7514	0.17
43	7459	0.171	94	5670	0.13
44	7345	0.169	95	5300	0.13
45	7739	0.178	96	5600	0.13
46	7382	0.169	97	5500	0.13
47	6401	0.147	98	5500	0.13
48	5106	0.14	99	5600	0.13
49	6075	0.139	100	5500	0.13
50	6549	0.15	101	5500	0.13

Site Data Note:
Lots 35 to 101 (Phase 2) subject to changes with final plat.



Sheet	C12																																			
Final Development Plan	18-0208 The Meadows at Creekside																																			
Site Utility Plan North																																				
<table border="1"> <tr> <td>REVISION</td> <td>DATE</td> <td>BY</td> <td>CHKD</td> <td>DESCRIPTION</td> </tr> <tr> <td>1</td> <td>01/11/2018</td> <td>JL</td> <td>ML</td> <td>ISSUED FOR PERMIT</td> </tr> <tr> <td>2</td> <td>02/01/2018</td> <td>JL</td> <td>ML</td> <td>REVISIONS TO SANITARY</td> </tr> <tr> <td>3</td> <td>02/01/2018</td> <td>JL</td> <td>ML</td> <td>REVISIONS TO WATER</td> </tr> <tr> <td>4</td> <td>02/01/2018</td> <td>JL</td> <td>ML</td> <td>REVISIONS TO STORM</td> </tr> <tr> <td>5</td> <td>02/01/2018</td> <td>JL</td> <td>ML</td> <td>REVISIONS TO TRAIL</td> </tr> <tr> <td>6</td> <td>02/01/2018</td> <td>JL</td> <td>ML</td> <td>REVISIONS TO FLOOD PLAIN</td> </tr> </table>		REVISION	DATE	BY	CHKD	DESCRIPTION	1	01/11/2018	JL	ML	ISSUED FOR PERMIT	2	02/01/2018	JL	ML	REVISIONS TO SANITARY	3	02/01/2018	JL	ML	REVISIONS TO WATER	4	02/01/2018	JL	ML	REVISIONS TO STORM	5	02/01/2018	JL	ML	REVISIONS TO TRAIL	6	02/01/2018	JL	ML	REVISIONS TO FLOOD PLAIN
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Renaissance Infrastructure Consulting 500 NW Canal Street, Suite 100 Portland, Oregon 97209 503.580.0000 www.riecorp.com																																				

DATE: 10-1-2018 10:00 AM



NOTE:
Utilities Will Be Extended To Pick
Up Existing Facilities in Brink
Myer Road.
Flood Plain Note RE: Sheet C14

Renaissance Infrastructure Consulting 505 NW Canal Street, Suite 100 Portland, Oregon 97209 www.rii.com TEL: 503.586.0000 FAX: 503.586.0001		Final Development Plan 18-0208 The Meadows At Creekside	Sheet C13																														
			<table border="1"><thead><tr><th>NO.</th><th>DATE</th><th>DESCRIPTION</th></tr></thead><tbody><tr><td>1</td><td>10/1/2018</td><td>PRELIMINARY COMMENTS</td></tr><tr><td>2</td><td>10/1/2018</td><td>PRELIMINARY COMMENTS</td></tr><tr><td>3</td><td>10/1/2018</td><td>PRELIMINARY COMMENTS</td></tr><tr><td>4</td><td>10/1/2018</td><td>PRELIMINARY COMMENTS</td></tr><tr><td>5</td><td>10/1/2018</td><td>PRELIMINARY COMMENTS</td></tr><tr><td>6</td><td>10/1/2018</td><td>PRELIMINARY COMMENTS</td></tr><tr><td>7</td><td>10/1/2018</td><td>PRELIMINARY COMMENTS</td></tr><tr><td>8</td><td>10/1/2018</td><td>PRELIMINARY COMMENTS</td></tr><tr><td>9</td><td>10/1/2018</td><td>PRELIMINARY COMMENTS</td></tr><tr><td>10</td><td>10/1/2018</td><td>PRELIMINARY COMMENTS</td></tr></tbody></table>	NO.	DATE	DESCRIPTION	1	10/1/2018	PRELIMINARY COMMENTS	2	10/1/2018	PRELIMINARY COMMENTS	3	10/1/2018	PRELIMINARY COMMENTS	4	10/1/2018	PRELIMINARY COMMENTS	5	10/1/2018	PRELIMINARY COMMENTS	6	10/1/2018	PRELIMINARY COMMENTS	7	10/1/2018	PRELIMINARY COMMENTS	8	10/1/2018	PRELIMINARY COMMENTS	9	10/1/2018	PRELIMINARY COMMENTS
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REVISION	DATE	BY	CHKD	DESCRIPTION
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3	02/01/2018	JM	JS	REVISIONS
4	02/01/2018	JM	JS	REVISIONS
5	02/01/2018	JM	JS	REVISIONS
6	02/01/2018	JM	JS	REVISIONS
7	02/01/2018	JM	JS	REVISIONS
8	02/01/2018	JM	JS	REVISIONS
9	02/01/2018	JM	JS	REVISIONS
10	02/01/2018	JM	JS	REVISIONS

Renaissance Infrastructure Consulting

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503.586.0000
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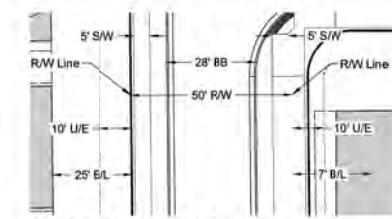


FIGURE 1 - Typical Street Plan

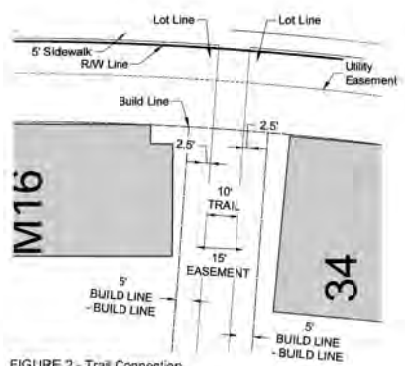
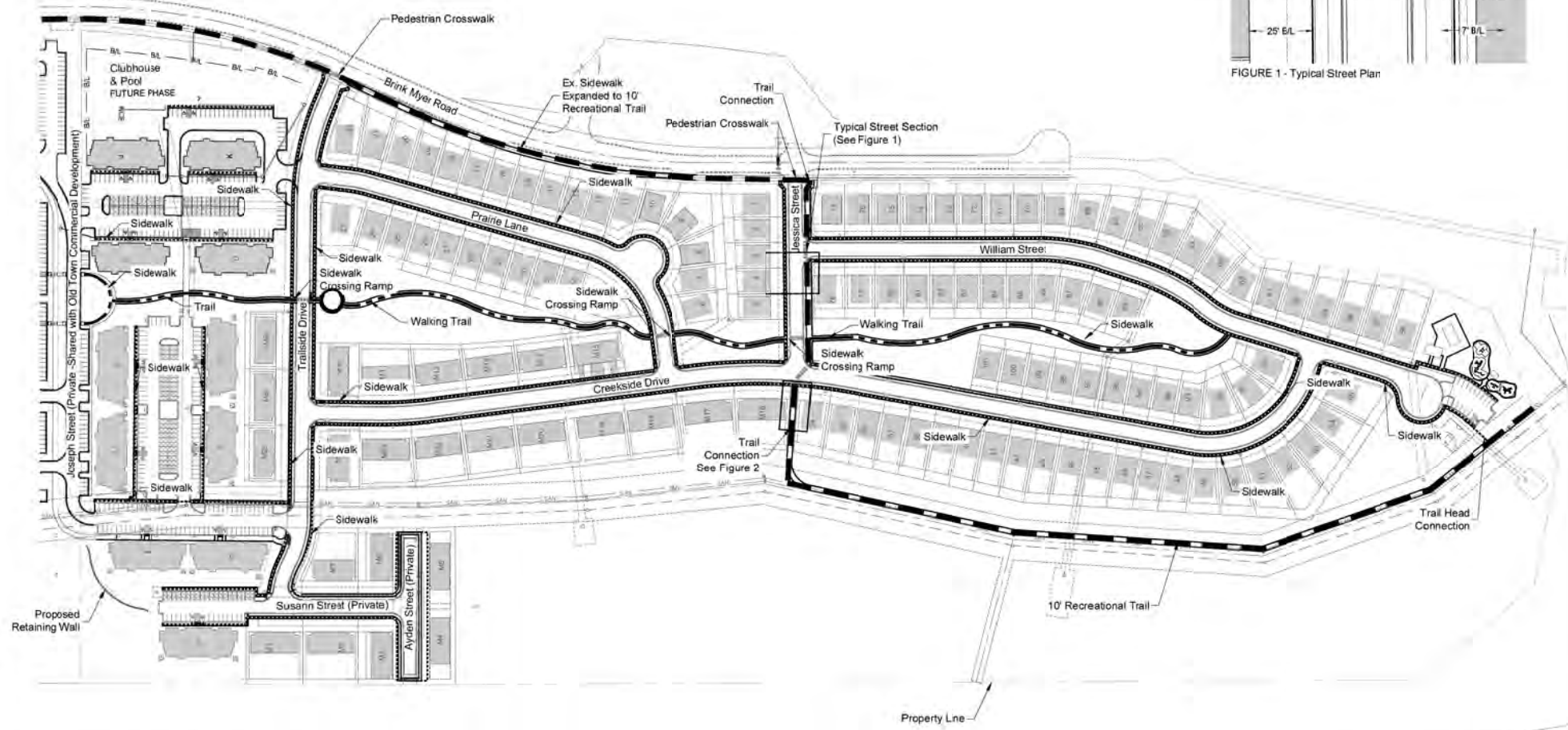
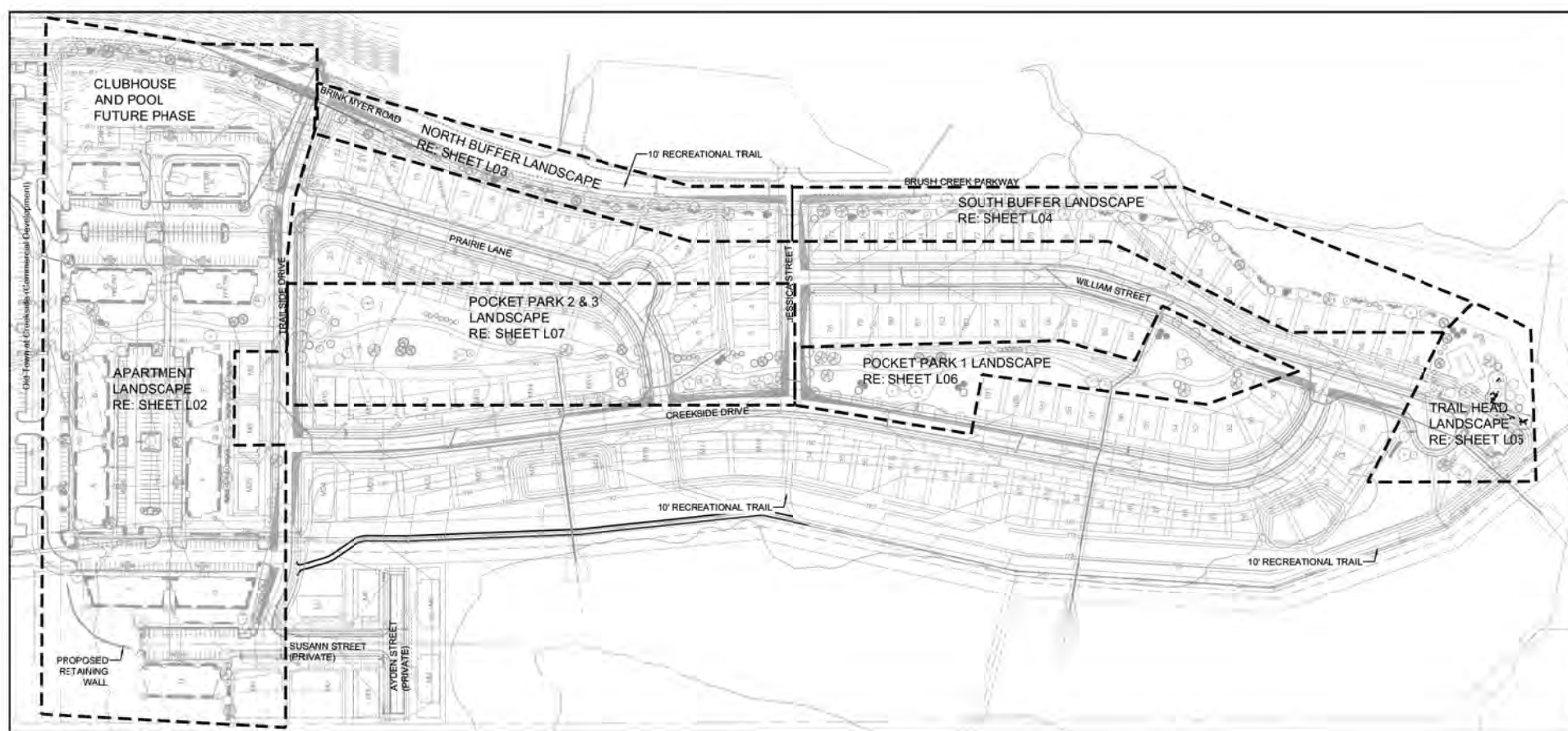


FIGURE 2 - Trail Connection

Pedestrian Path Schedule

- 5' Sidewalk
- 10' Walking Trail
- ===== 10' Recreational Trail



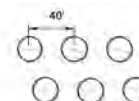


PLANT SCHEDULE OVERALL LANDSCAPE

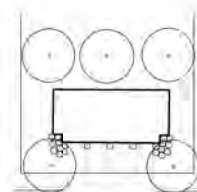
TREES	CODE	BOTANICAL / COMMON NAME	CONT.	CAL.	SIZE	QTY
	AKO	Acer rubrum 'October Glory' TM / October Glory Maple	B&B	2" Cal.		33
	CC2	Cercis canadensis 'Forest Pansy' TM / Forest Pansy Redbud	B&B	1.5" Cal.		36
	GT	Gleditsia triacanthos 'Skyline' / Skyline Honey Locust	B&B	2" Cal.		24
	JH	Juniperus virginiana 'Hillspire' / Hillspire Juniper	B&B		6' Ht. Min.	40
	MX2	Malus x 'Spring Snow' / Spring Snow Crab Apple	B&B	1.5" Cal.		26
	NSW	Nyssa sylvatica 'Walden' / Black Gum	B&B	2" Cal.		41
	PP	Pinus pungens 'Fat Albert' / Colorado Spruce	B&B		6' Ht. Min.	20
	PS	Pinus strobus / White Pine	B&B		6' Ht. Min.	19
	QS	Quercus shumardii / Shumard Red Oak	B&B	2" Cal.		40
	TC	Tilia cordata 'Greenspire' / Littleleaf Linden	B&B	2" Cal.		34
	UA	Ulmus americana 'Valley Forge' / American Elm	B&B	2" Cal.		23

PLANT SCHEDULE OVERALL LANDSCAPE

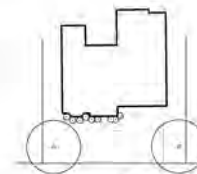
SHRUBS	CODE	BOTANICAL / COMMON NAME	CONT.	QTY
	AM	Aronia melanocarpa 'Morton' TM / Inquis Beauty Black Chokeberry	5 Gal.	182
	HS	Hemerocallis x 'Stella de Oro' / Stella de Oro Daylily	1 Gal.	916
	HG	Hypoxis flodorus / Golden St. John's Wort	3 Gal.	148
	H	Ilex virginica 'Henry's Garnet' / Henry's Garnet Sweetspire	5 Gal.	98
	JG2	Juniperus chinensis 'Gold Lace' / Gold Lace Juniper	5 Gal.	128
	JF	Juniperus chinensis 'Sea Green' / Sea Green Juniper	5 Gal.	371
	MS4	Miscanthus sinensis 'Morning Light' / Eulalia Grass	5 Gal.	41
	PV	Panicum virgatum 'Hansie Henne' / Hansie Henne Switch Grass	5 Gal.	92
	PD2	Physocarpus opulifolius 'Diois' / Dioid Ninebark	5 Gal.	122



TYPICAL STREET TREE
NOT TO SCALE
-Per Parkville Code Section 407.1



TYPICAL TOWNHOME LANDSCAPE
NOT TO SCALE
-Per Parkville Code Section 407.020



TYPICAL SINGLE FAMILY RESIDENTIAL LANDSCAPE
NOT TO SCALE
-Per Parkville Code Section 407.020

NOTE:
Street trees and individual town home and single family home landscaping shall be provided per Parkville Code Section 407.1 and 407.020 upon construction of individual lots.
Series of 3-4 trees of a single tree species shall be planted in a configuration so that no one species exceeds 30% of total trees within development. Trees may be selected from the following:
Acer rubrum 'October Glory'
Gleditsia triacanthos 'Skyline'
Nyssa sylvatica 'Walden'
Tilia cordata 'Greenspire'
Ulmus americana 'Valley Forge'

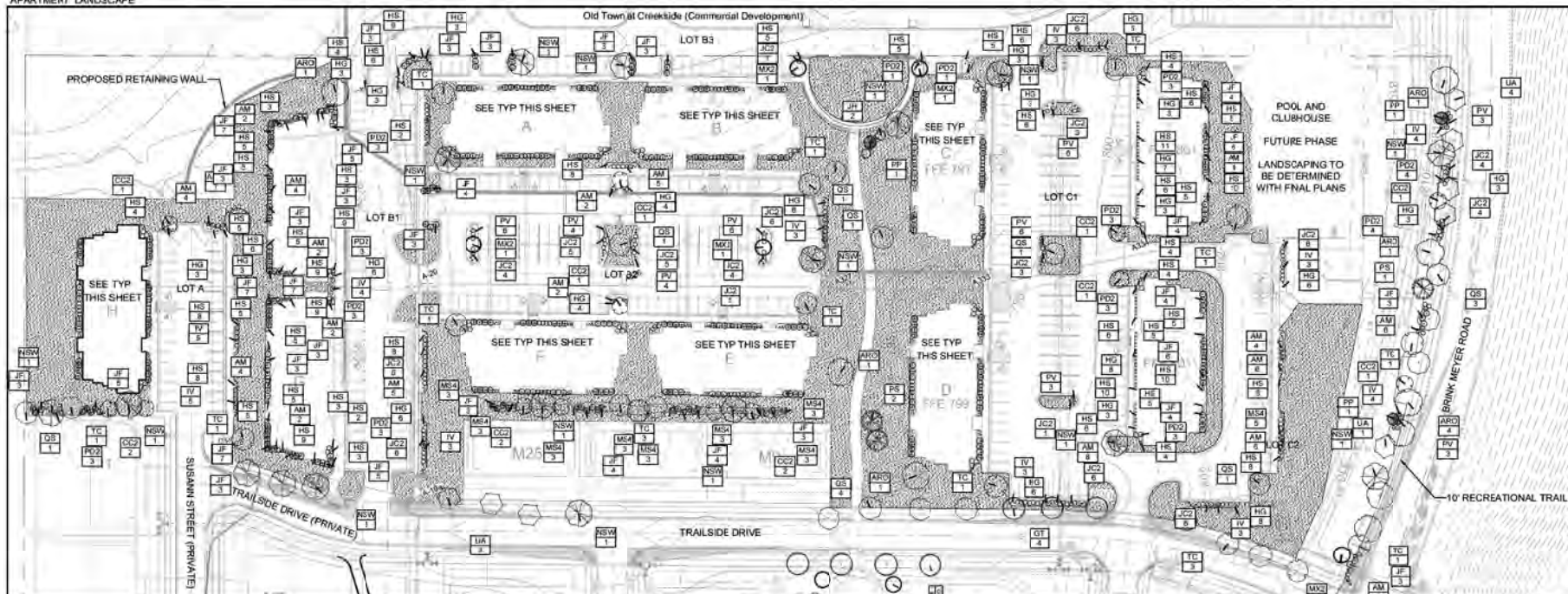
25'
225'
SIGHT TRIANGLE: 35 mph
25'
400'
SIGHT TRIANGLE: 45 mph

SCHEDULE NOTES:
1. Overall Schedule reflects quantities for the development as a whole. For individual area schedules reference individual sheets: Apartment Landscape L02; Single Family Landscape Buffer L03-L04; Trail Head and Playground L05; Pocket Parks L06-L07.

2. See Apartment Landscape Plan for Apartment Sod Schedule.

3. See Sheet L05 for Landscape Data.

APARTMENT LANDSCAPE



PLANT SCHEDULE APARTMENT LANDSCAPE

GROUND COVERS	BOTANICAL / COMMON NAME	CONT	SPACING	QTY
	Turfgrass Sod Fescue Mix; RE: Notes / Fescue Sod	SOD		126,813 sf

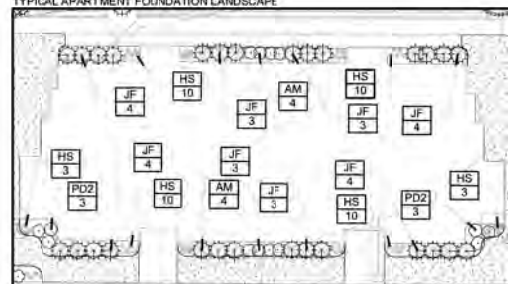
PLANT SCHEDULE APARTMENT LANDSCAPE

TREES	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	QTY
ARD	Acer rubrum 'October Glory' TM / October Glory Maple	B&B	2" Cal.		6
CC2	Cercis canadensis 'Forest Pansy' TM / Forest Pansy Redbud	B&B	1.5" Cal.		13
JH	Juniperus virginiana 'Hillspire' / Hillspire Juniper	B&B		6' Ht. Min.	2
MX2	Malus x 'Spring Snow' / Spring Snow Crab Apple	B&B	1.5" Cal.		5
NSW	Nyssa sylvatica 'Wildfire' / Black Gum	B&B	2" Cal.		13
PP	Picea pungens 'Fat Albert' / Colorado Spruce	B&B		6' Ht. Min.	3
PS	Pinus strobus / White Pine	B&B		6' Ht. Min.	3
QS	Quercus shumardii / Shumard Red Oak	B&B	2" Cal.		6
TC	Tilia cordata 'Greenspire' / Littleleaf Linden	B&B	2" Cal.		14
UA	Ulmus americana 'Valley Forge' / American Elm	B&B	2" Cal.		1
SHRUBS	BOTANICAL / COMMON NAME	CONT			QTY
AM	Aronia melanocarpa 'Morton' TM / Iroquois Beauty Black Chokeberry	5 Gal.			128
HS	Hemerocallis x 'Stella de Oro' / Stella de Oro Daylily	1 Gal.			616
HG	Hypericum frondosum / Golden St. John's Wort	3 Gal.			112
IV	Itea virginica 'Henry's Garnet' / Henry's Garnet Sweetgum	5 Gal.			44
JC2	Juniperus chinensis 'Gold Lace' / Gold Lace Juniper	5 Gal.			82
JF	Juniperus chinensis 'Sea Green' / Sea Green Juniper	5 Gal.			330
MS4	Miscanthus sinensis 'Morning Light' / Eulalia Grass	5 Gal.			34
PV	Panicum virgatum 'Haense Herms' / Haense Herms Switch Grass	5 Gal.			41
PD2	Physocarpus opulifolius 'Diable' / Diablo Ninebark	5 Gal.			79

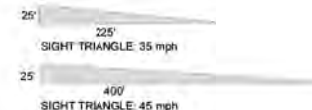
PLANT SCHEDULE APARTMENT STREET TREES

TREES	BOTANICAL / COMMON NAME	CONT	CAL	QTY
ARO	Acer rubrum 'October Glory' TM / October Glory Maple	B&B	2" Cal.	4
GT	Gleditsia inacanthos 'Skyline' / Skyline Honey Locust	B&B	2" Cal.	4
NSW	Nyssa sylvatica 'Wildfire' / Black Gum	B&B	2" Cal.	4
QS	Quercus shumardii / Shumard Red Oak	B&B	2" Cal.	7
TC	Tilia cordata 'Greenspire' / Littleleaf Linden	B&B	2" Cal.	9
UA	Ulmus americana 'Valley Forge' / American Elm	B&B	2" Cal.	7

TYPICAL APARTMENT FOUNDATION LANDSCAPE



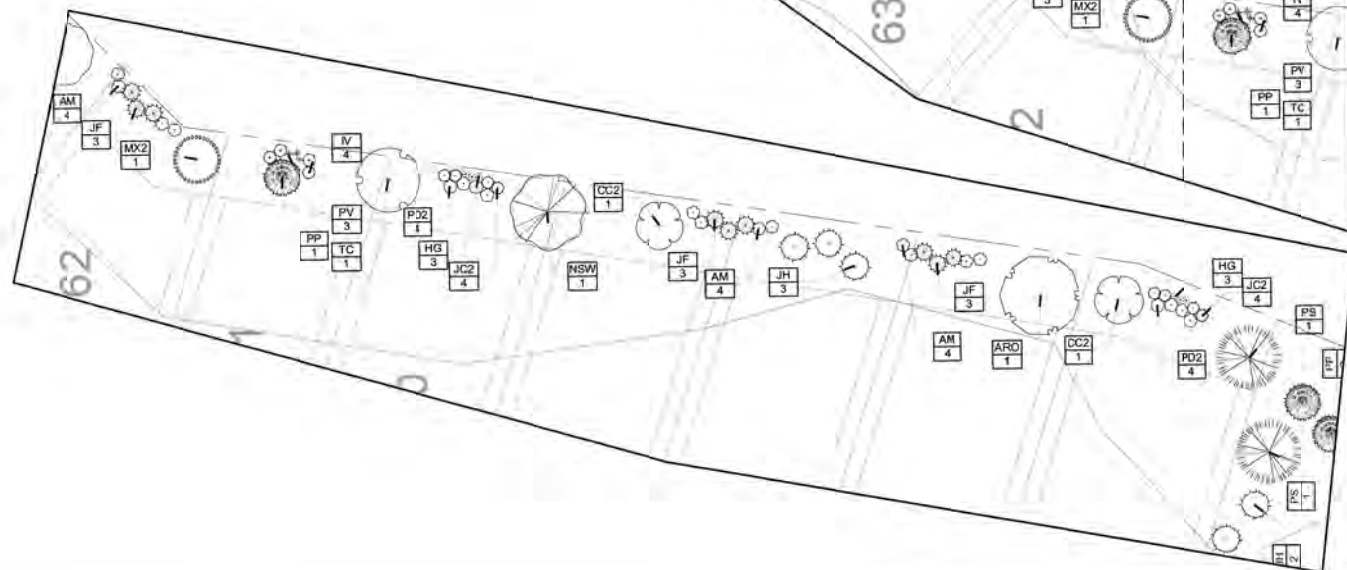
NOTE: Foundation Landscaping for Apartments I and G shifted to allow for 10' sidewalk/recreational trail. Landscaping called out in Apartment Landscape Plan - this sheet





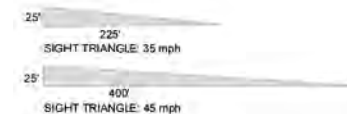
TREES	BOTANICAL / COMMON NAME	CONT	CAL	QTY
ARO	Acer rubrum / October Glory TM / October Glory Maple	B&B	2" Cal	3
NSW	Nyssa sylvatica / Wiltzie / Black Gum	B&B	2" Cal	3
QSR	Quercus shumardii / Shumard Red Oak	B&B	2" Cal	3
TC	Tilia cordata / Greenspire / Littleleaf Linden	B&B	2" Cal	3
UA	Ulmus americana / Valley Forge / American Elm	B&B	2" Cal	3

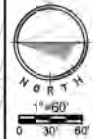
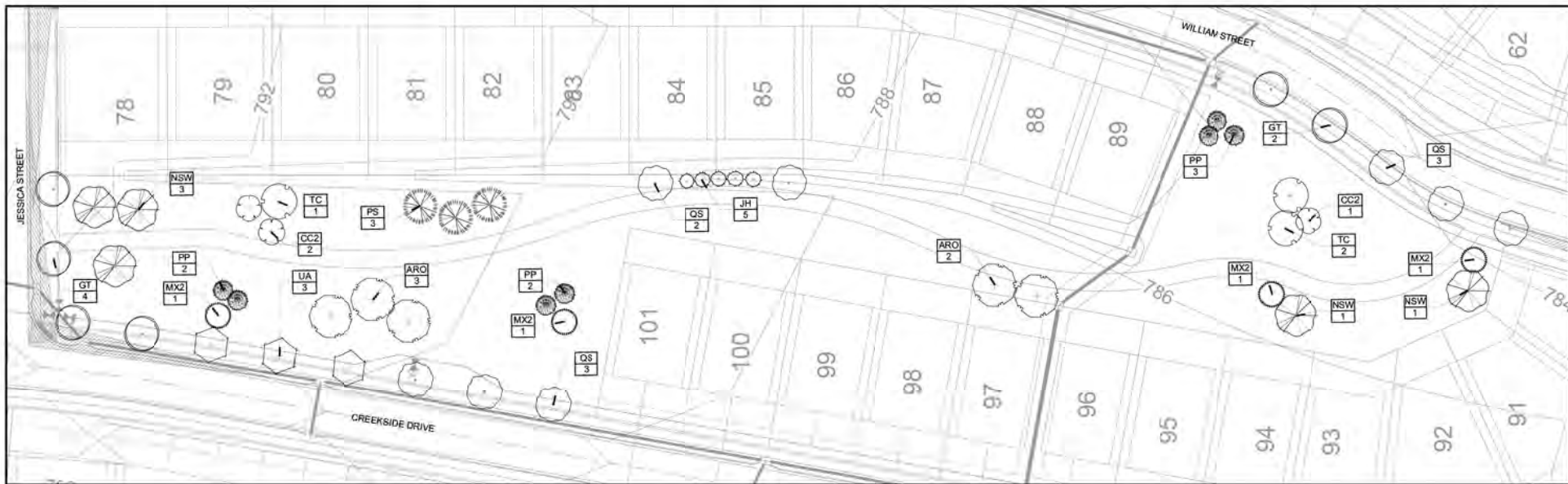
TREES	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	QT
ARO	<i>Acer rubrum</i> / October Glory TM / October Glory Maple	B&B	2" Cal		3
CC2	<i>Cercis canadensis</i> / ForestPansy TM / Forest Pansy Redbud	B&B	1.5" Cal		6
JH	<i>Juniperus virginiana</i> / Hilsipine / Hilsipine Juniper	B&B		6' Ht. Mh	8
MX2	<i>Malus x</i> / Spring Snow / Spring Snow Crab Apple	B&B	1.5" Cal		4
NSW	<i>Nyssa sylvatica</i> / Wildfire / Black Gum	B&B	2" Cal		3
PP	<i>Picea pungens</i> / Fat Albert / Colorado Spruce	B&B		6' Ht. Mh	3
PS	<i>Pinus strobus</i> / White Pine	B&B		6' Ht. Mh	3
QES	<i>Quercus shumardii</i> / Shumard Red Oak	B&B	2" Cal		1
TC	<i>Tilia cordata</i> / Greenspire / Littleleaf Linden	B&B	2" Cal		8
UA	<i>Ulmus americana</i> / Valley Forge / American Elm	B&B	2" Cal		2
SHRUBS	BOTANICAL / COMMON NAME	CONT			QT
AM	<i>Arctostaphylos</i> / Morien TM / Inqius Beauty Black Chokeberry	5 Gal			32
HG	<i>Hypericum frondosum</i> / Golden St. John's Wort	3 Gal			15
IV	<i>Ilex virginica</i> / Henry's Garnet / Henry's Garnet Sweetspine	5 Gal			12
JC2	<i>Juniperus chinensis</i> / Gold Lace / Gold Lace Juniper	5 Gal			20
JE	<i>Juniperus chinensis</i> / Sea Green / Sea Green Juniper	5 Gal			24
IV	<i>Panicum virgatum</i> / Haense Herbs / Haense Herbs Switch Grass	5 Gal			9
PO2	<i>Physocarpus opulifolius</i> / Diablo / Diablo Ninebark	5 Gal			20





TREES	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	QTY
ARO	<i>Acer sturnum</i> 'October Glory' TM / October Glory Maple	8.6B	2" Cal		3
CC2	<i>Cercis canadensis</i> 'Forest Pansy' TM / Forest Pansy Redbud	8.6B	1.5" Cal		3
JH1	<i>Juniperus virginiana</i> 'Hillspire' / Hillspire Juniper	8.6B		6 Ht Min	7
MX2	<i>Malus</i> 'Spring Snow' / Spring Snow Crab Apple	8.6B	1.5" Cal		2
NSW	<i>Nyssa sylvatica</i> 'Waffle' / Black Gum	8.6B	2" Cal		3
PP	<i>Picea pungens</i> 'Fat Albert' / Colorado Spruce	8.6B		6 Ht Min	3
PS	<i>Pinus strobus</i> / White Pine	8.6B		6 Ht Min	2
QS	<i>Quercus shumardii</i> / Shumard Red Oak	8.6B	2" Cal		3
TC	<i>Tilia cordata</i> 'Greenspire' / Littleleaf Linden	8.6B	2" Cal		2
SHRUBS	BOTANICAL / COMMON NAME	CONT			QTY
AM	<i>Aronia melanocarpa</i> 'Mortini' TM / Inoque Beauty Black Chokeberry	5 Gal			6
HQ	<i>Hypericum frondosum</i> 'Golden St. John's Wort	3 Gal			6
IV	<i>Itea virginica</i> 'Henry's Garnet' / Henry's Garnet Sweetpire	5 Gal			4
JC2	<i>Juniperus chinensis</i> 'Gold Lace' / Gold Lace Juniper	5 Gal			6
JF	<i>Juniperus chinensis</i> 'Sea Green' / Sea Green Juniper	5 Gal			6
MS4	<i>Masochorus sinensis</i> 'Morning Light' / Eulalia Grass	5 Gal			8
PV	<i>Panicum virgatum</i> 'Haense Hemis' / Haense Hemis Switch Grass	5 Gal			8
PDX	<i>Physocarpus opulifolius</i> 'Diable' / Diablo Ninebark	5 Gal			3



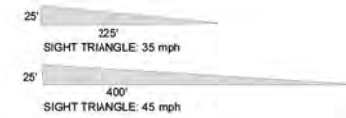


PLANT SCHEDULE POCKET PARK 1

TREES	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	QTY
ARO	Acer rubrum 'October Glory' TM / October Glory Maple	B&B	2" Cal.		5
CC2	Cercis canadensis 'Forest Pansy' TM / Forest Pansy Redbud	B&B	1.5" Cal.		3
JH	Juniperus virginiana 'Hillspire' / Hillspire Juniper	B&B		5' Ht. Min.	5
MX2	Malus x 'Spring Snow' / Spring Snow Crab Apple	B&B	1.5" Cal.		4
NSW	Nyssa sylvatica 'Wildfire' / Black Gum	B&B	2" Cal.		5
PP	Picea pungens 'Fat Albert' / Colorado Spruce	B&B		5' Ht. Min.	7
PS	Pinus strobus / White Pine	B&B		5' Ht. Min.	3
QS	Quercus shumardii / Shumard Red Oak	B&B	2" Cal.		2
TC	Tilia cordata 'Greenspire' / Littleleaf Linden	B&B	2" Cal.		3

PLANT SCHEDULE POCKET PARK 1 STREET TREES

TREES	BOTANICAL / COMMON NAME	CONT	CAL	QTY
GT	Gleditsia triacanthos 'Skyline' / Skyline Honey Locust	B&B	2" Cal.	6
QS	Quercus shumardii / Shumard Red Oak	B&B	2" Cal.	6
UA	Ulmus americana 'Valley Forge' / American Elm	B&B	2" Cal.	3



Sheet
L06

Final Development Plan
18-0208
The Meadows At Creekside

Pocket Park 1
Landscape Plan

REVISIONS	DATE	BY	CHKD	DESCRIPTION
1	08/11/2018	AM	AM	ISSUED FOR PERMIT
2	08/11/2018	AM	AM	ISSUED FOR PERMIT
3	08/11/2018	AM	AM	ISSUED FOR PERMIT
4	08/11/2018	AM	AM	ISSUED FOR PERMIT
5	08/11/2018	AM	AM	ISSUED FOR PERMIT
6	08/11/2018	AM	AM	ISSUED FOR PERMIT
7	08/11/2018	AM	AM	ISSUED FOR PERMIT
8	08/11/2018	AM	AM	ISSUED FOR PERMIT
9	08/11/2018	AM	AM	ISSUED FOR PERMIT
10	08/11/2018	AM	AM	ISSUED FOR PERMIT

Renaissance Infrastructure Consulting
3005 NW Canal Street, Suite 100
Portland, Oregon 97201
800-800-0950
www.ri-consult.com

LOT A perimeter 573', 47 stalls

Type II Buffer – 125' Between Unit H and Teen Homes

LOT B 1935' perimeter, 212' wideLOT C 1391' permielac, 170 ston

Street trees

Type II Buffer 220² Between Apartments F&G and Town HomesType 1 Buffer - FLASH UTILITYType III Buffer: - 855 East Property Line

Pocket Park Landscaping Del:

	Free/25 ¹ Frontage
--	-------------------------------

1 Tree/25' Frontage

Playground and Trailhead Landscaping Data

PlaygroundType III Buffer - 275 used at foregroundSingle Family Residential Street TreesLANDSCAPE NOTES

- ## NOTES

1. TREES THAT DO NOT MEET THE SIZE REQUIREMENT WILL BE REJECTED
2. TREES SHALL BE INSPECTED BY OWNERS REPRESENTATIVE PRIOR TO INSTALLATION



DECIDUOUS TREE PLANTING DETAIL - NTS

PRUNE OUT ANY DEAD OR BROKEN BRANCHES
AND REMOVE DEBRIS FROM SITE

SECURE TREE TO STAKES WITH STRAPS (RE-SPEC'S STRAPS SHALL BE LOOSE ENOUGH TO ALLOW SOME MOVEMENT OF THE TRUNK WITH THE WIND)

MIN. 6' LONG STEEL STAKES SECURED INTO UNDISTURBED SOIL. PLACE NORTH AND SOUTH OF TREE.

3" MULCH PER SPECIFICATIONS. DO NOT PLACE ON TRUNK OR TRUNK FLARE. BERM AT OUTER EDGE OF RING TO CREATE A SAUCER FORM.

REMOVE TWINE AND CAGE FROM ROOT BALL AND TRUNK. PEEL AND REMOVE BURLAP FROM TO 1/3 OF THE ROOT BALL.

PLANTING HOLE SHALL BE AT LEAST 5 TIMES
WIDER THAN THE SPREAD OF ITS ROOTS
BUT NO DEEPER. PLACE ROOT BALL ON
UNDISTURBED SOIL WITH ROOT FLARE EVEN
WITH OR 1" ABOVE GRADE. SCARIFY SIDES
AND BOTTOM OF PIT.
AMEND SOIL ACCORDING TO SPECIFICATIONS.

AMEND SOIL ACCORDING TO SPECIFICATIONS



- PRUNE ANY BROKEN TWIGS AND BRANCHES
AND REMOVE DEBRIS FROM SITE

- SECURE TREE TO (3) STAKES WITH STRAPS.
STAPS SHALL BE LOOS ENOUGH TO ALLOW SOME
MOVEMENT OF THE TRUNK WITH THE WIND.

MIN. 6' LONG STAKE SECURED INTO
UNDISTURBED SOIL

FIRST LATERAL ROOTS SHALL BE AT
EXISTING GRADE. REMOVE ANY SOIL IN
THE ROOT BALL ABOVE THE ROOT FLARE

REMOVE TWINE AND CAGE FROM ROOT BALL AND TRUNK. PEEL AND REMOVE BURLAP FROM TOP $\frac{1}{3}$ OF ROOT BALL.

3" MULCH PER SPECIFICATIONS

PLANTING HOLE SHALL BE AT LEAST 3 TIMES WIDER THAN THE SPREAD OF ITS ROOTS, BUT NO DEEPER. PLACE ROOT BALL ON UNDISTURBED SOIL WITH ROOT FLARE EVEN WITH OR 1" ABOVE GRADE. SCARIFY SIDES AND BOTTOM OF PIT. AMEND SOIL ACCORDING TO SPECIFICATIONS.



1. EDGING PER SPECIFICATION 0302 07.4. SET ALL EDGING 1" ABOVE FINISH GRADE (TURF) SURFACE AS SHOWN.
2. EDGING SHALL ABUT ALL CONCRETE CURBS AND WALKS PERPENDICULAR AND FLUSH WITH TOP OF CONCRETE.
3. ALL JOINTS SHALL BE SECURELY STAKED
4. FINISH SHALL BE GREEN COLORED
5. CONTRACTOR SHALL SUBMIT COLOR SAMPLE TO OWNERS REPRESENTATIVE PRIOR TO PURCHASE
6. CONTRACTOR SHALL LOCATE AND MARK ALL PLANT BED LOCATIONS PRIOR TO INSTALLATION OF STEEL FOR FINAL APPROVAL BY OWNER OR LANDSCAPE ARCHITECT.

STEEL EDGING DETAIL : NTS

PRUNE OUT ANY DEAD OR BROKEN BRANCHES. CUT ANY GIRDLING ROOTS OFF CLOSE TO THE CROWN. PRY LONG ROOTS OUT TO DIRECT INTO NEW SOIL. PLACE SHRUB SO CROWN IS AT SOIL LEVEL.

INSTALL 3" OF HARDWOOD MULCH THROUGHOUT PLANTING BED. LEAVE A 6" BARE CIRCLE AT BASE OF PLANT. FILL PLANTING HOLE WITH AMENDED SOIL MIX ACCORDING TO SPECIFICATIONS. CONSTRUCT RING AROUND PLANTED SHRUB TO FORM GAUCER.



- ## NOTES

1. REFER TO SPECIFICATIONS FOR TOPSOIL BACKFILL MIX.
2. CONTRACTOR TO WATER THOROUGHLY AFTER PLANTING.
3. INSTALLATION TO BE IN ACCORDANCE WITH PLANTING SPECIFICATIONS.

SHRUB PLANTING DETAIL - NTE



UTILITY BOXES SHALL BE CLUSTERED AS MUCH AS POSSIBLE

TYPICAL UTILITY BOX SCREENING DETAILS - NTS